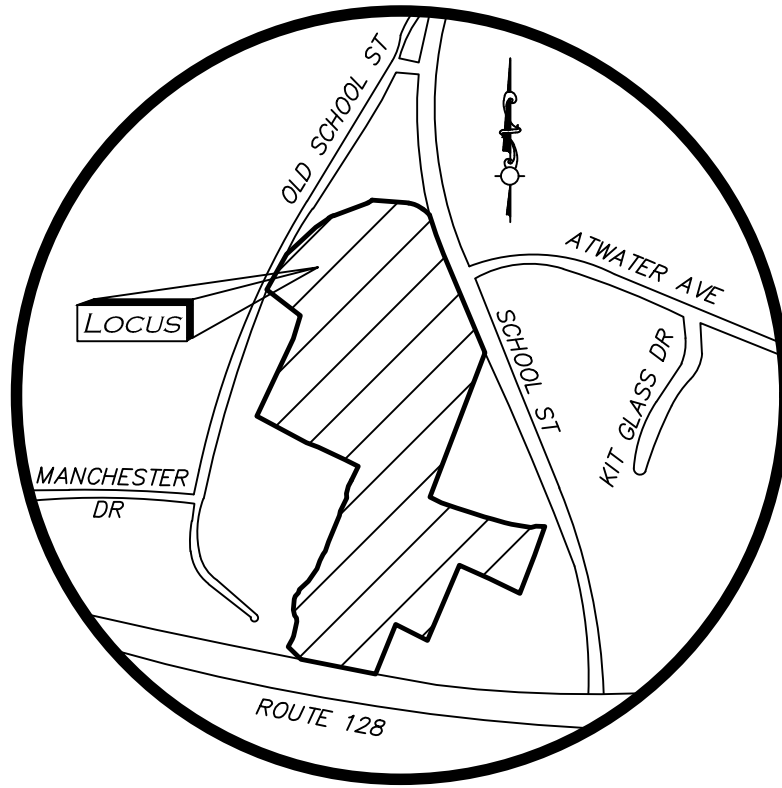


UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LOCUS MAP
(NOT TO SCALE)

LEGEND

| | |
|---------------------------|-------|
| DRILL HOLE (DH) | ⊙ |
| STONE BOUND (SB) | □ |
| IRON ROD (IR) | ○ |
| UTILITY POLE | ⊕ |
| UTILITY POLE W/ RISER | ⊕ |
| UTILITY POLE W/ LIGHT | ⊕ |
| GUY WIRE | — |
| GAS GATE | — |
| INVERT (INV) | — |
| FLARED END SECTION | — |
| TEST PIT LOCATION | — |
| WETLAND FLAG | — |
| WETLAND AREA | — |
| WETLAND | — |
| 1' CONTOUR | — |
| 5' CONTOUR | — |
| PROPERTY LINE | — |
| ABUTTERS LINE | — |
| STONE WALL | — |
| TREE LINE | — |
| EDGE OF PAVEMENT | — |
| EDGE OF GRAVEL | — |
| OVERHEAD WIRES | — |
| BITUMINOUS | BIT. |
| STONE BOUND W/ DRILL HOLE | SB/DH |
| FOUND | FND |
| NOW OR FORMERLY | N/F |
| BOOK | BK. |
| PAGE | PG. |

LOCUS REFERENCES

- TOWN OF MANCHESTER ASSESSORS MAP 43, LOT 18
- DEED BOOK 37672, PAGE 565
- PLAN 124 OF 1960
- OWNER OF RECORD: ANDREW BROWN, TRUSTEE OF THE BROWN FAMILY IRREVOCABLE TRUST OF 2012

PLAN REFERENCES

- STATE HIGHWAY LAYOUT 3970
- STATE HIGHWAY LAYOUT 3992
- PLAN BOOK 229, PLAN 6

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').
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6. TEST PIT LOCATIONS SHOWN HEREON PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. BY ONSITE ENGINEERING, INC.

GRAPHIC SCALE

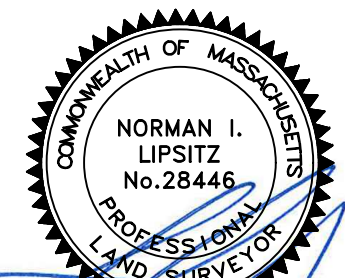


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THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
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THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

Sept. 21, 2020
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

APPLICANT/OWNER:

SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:

ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA

| | | | |
|-------------|---------|-------|------------|
| PROJECT NO. | 2725-01 | DATE: | 09/21/2020 |
|-------------|---------|-------|------------|

| | | | |
|--------|----------|------------|--------------|
| SCALE: | 1" = 50' | DWG. NAME: | S-2725-01-EC |
|--------|----------|------------|--------------|

| | | | |
|-------------|-----|-------------|-----|
| DRAFTED BY: | KAC | CHECKED BY: | NIL |
|-------------|-----|-------------|-----|

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

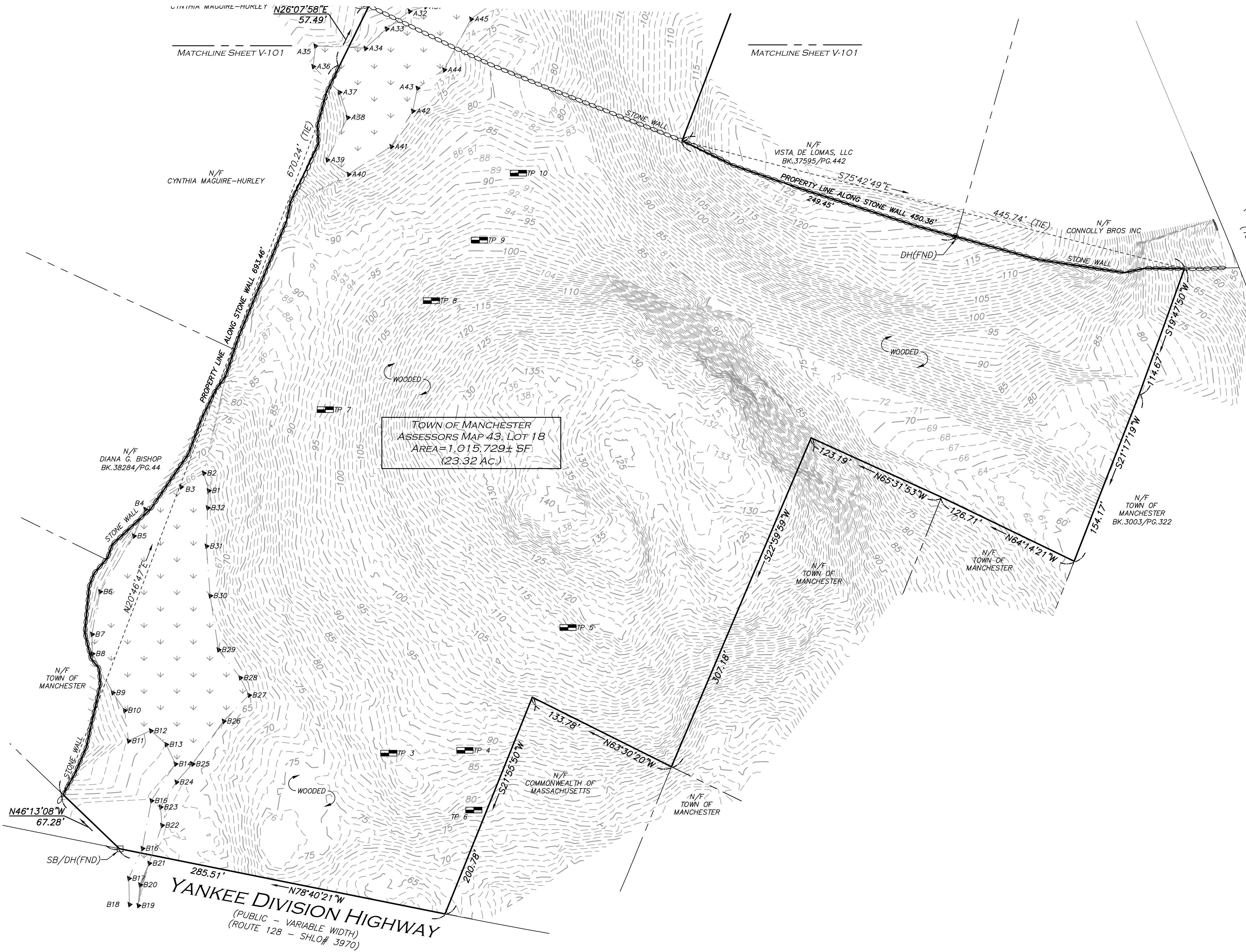
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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| | |
|----------------|-----------|
| DRAWING TITLE: | SHEET NO. |
|----------------|-----------|

EXISTING CONDITIONS V-101

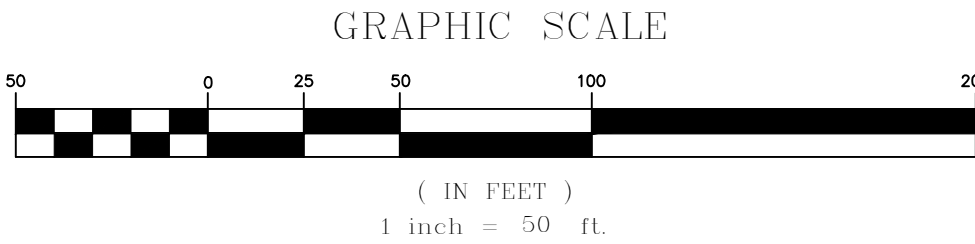


| LEGEND | |
|---------------------------|-------|
| DRILL HOLE (DH) | ● |
| STONE BOUND (SB) | □ |
| IRON ROD (IR) | ○ |
| UTILITY POLE | ⊙ |
| UTILITY POLE W/ RISER | ⊙ |
| UTILITY POLE W/ LIGHT | ⊙ |
| GUY WIRE | — |
| GAS GATE | — |
| INVERT (INV) | — |
| FLARED END SECTION | — |
| TEST PIT LOCATION | — |
| WETLAND FLAG | — |
| WETLAND AREA | — |
| WETLAND | — |
| 1' CONTOUR | —53— |
| 5' CONTOUR | —55— |
| PROPERTY LINE | — |
| ABUTTERS LINE | — |
| STONE WALL | — |
| TREE LINE | — |
| EDGE OF PAVEMENT | — |
| EDGE OF GRAVEL | — |
| OVERHEAD WIRES | — |
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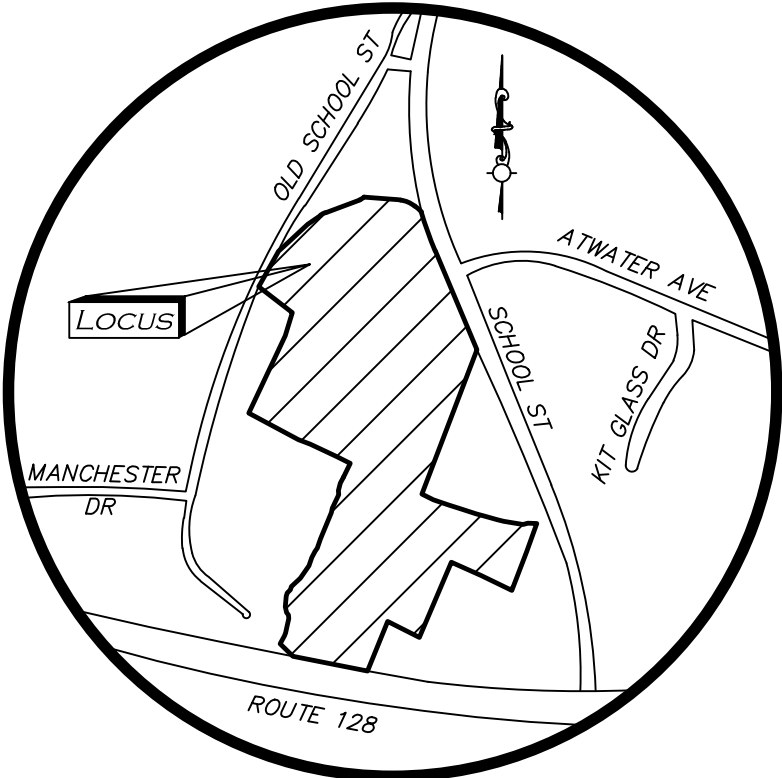
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N:\PROJECTS\2725-01\SURVEY\DRAWINGS\CURRENT\S-2725-01-EC.DWG
FB# 1736 PG. 109

UTILITY STATEMENT

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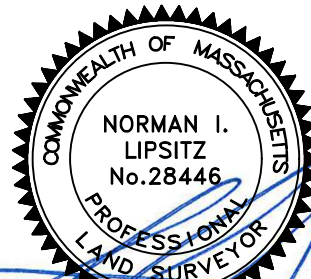
LOCUS MAP
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ALLEN & MAJOR ASSOCIATES, INC.

Sept. 21, 2020
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:
ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA

PROJECT NO. 2725-01 DATE: 09/21/2020

SCALE: 1" = 50' DWG. NAME: S-2725-01-EC

DRAFTED BY: KAC CHECKED BY: NIL

PREPARED BY:

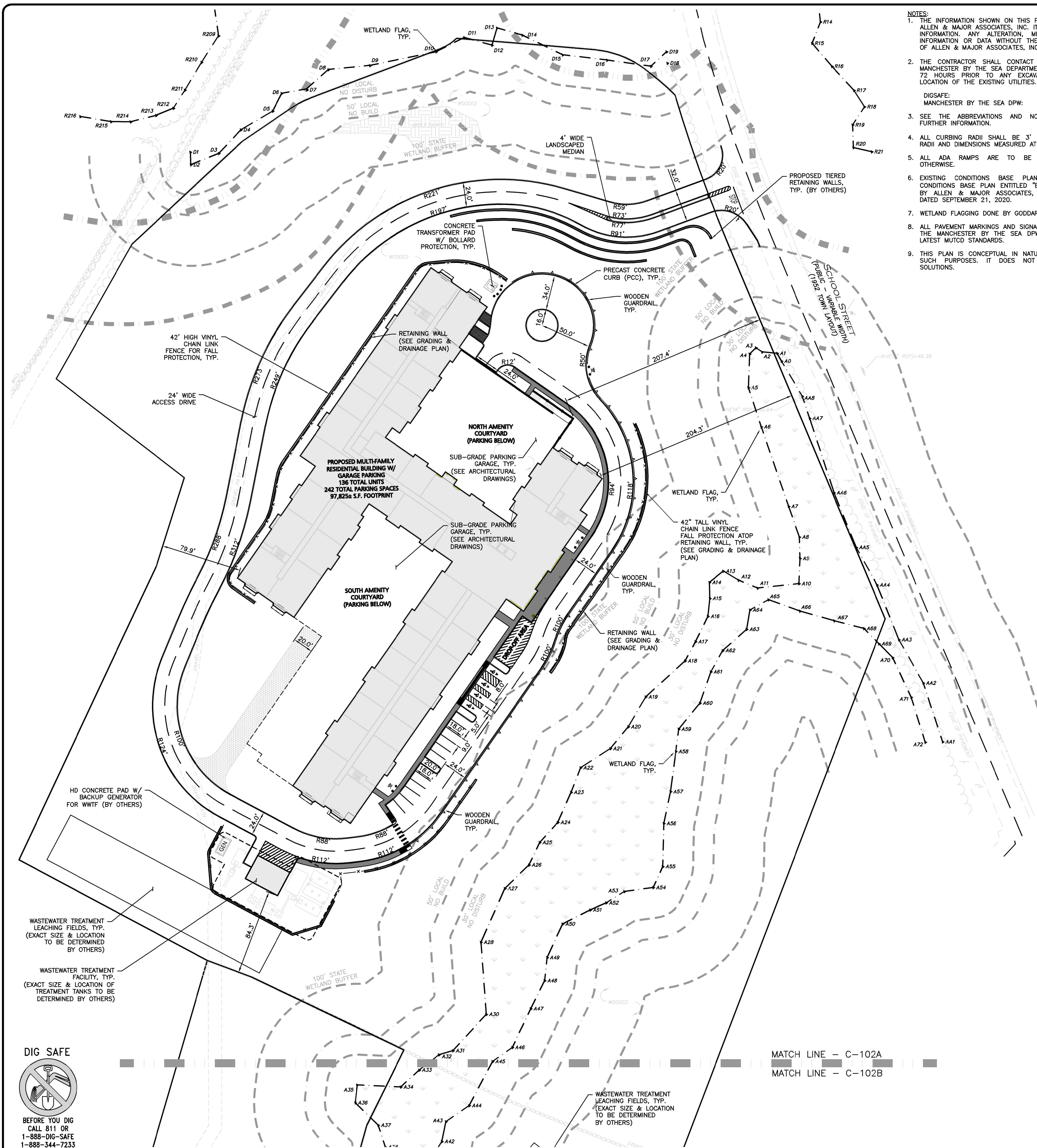
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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-102

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- NOTES:
1. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 2. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF MANCHESTER BY THE SEA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 3. DIGSAFE: 1-800-344-7233
MANCHESTER BY THE SEA DPW: (978) 526-1242
 4. SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 5. ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADII AND DIMENSIONS MEASURED AT FACE OF CURB.
 6. ALL ADA RAMP ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
 7. EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=50', DATED SEPTEMBER 21, 2020.
 8. WETLAND FLAGGING DONE BY GODDARD CONSULTING.
 9. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE COORDINATED WITH THE MANCHESTER BY THE SEA DPW AND SHALL CONFIRM TO THE LATEST MUTCD STANDARDS.
 10. THIS PLAN IS CONCEPTUAL IN NATURE AND SHOULD BE USED FOR SUCH PURPOSES. IT DOES NOT ILLUSTRATE ENGINEERED SITE SOLUTIONS.

LEGEND:

| | |
|--------------------------|--|
| PROPERTY LINE | |
| SIGN | |
| BOLLARD | |
| BUILDING | |
| BUILDING ARCHITECTURE | |
| CURB | |
| RETAINING WALL | |
| PARKING STRIPING | |
| ROADWAY STRIPING | |
| TRAFFIC ARROWS | |
| HEAVY DUTY CONCRETE | |
| SIDEWALK | |
| ADA ACCESSIBLE RAMP | |
| ADA DET. WARNING SURFACE | |
| SETBACK LINE | |
| PARKING COUNT | |
| WOOD GUARDRAIL | |
| CHAIN LINK FENCE | |
| WOOD FENCE | |
| TREE LINE | |
| TRANSFORMER | |

PARKING SUMMARY CHART

USE: RESIDENTIAL-HOMES:

| | | |
|----------------------------|-------------------------|--------------|
| 55 ONE-BEDROOMS PROVIDED | (1 BEDROOM = 2 SPACES) | = 110 SPACES |
| 66 TWO-BEDROOMS PROVIDED | (2 BEDROOMS = 3 SPACES) | = 198 SPACES |
| 15 THREE-BEDROOMS PROVIDED | (3 BEDROOMS = 5 SPACES) | = 75 SPACES |
| 00 FOUR-BEDROOMS PROVIDED | (4 BEDROOMS = 6 SPACES) | = 00 SPACES |
| TOTAL SPACES REQUIRED | | = 383 SPACES |

242 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, 226 OF WHICH ARE LOCATED WITHIN THE PODIUM/GARAGE PARKING AREAS AND 16 TOTAL SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.78 SPACES PER 1 DWELLING UNIT.

ADA REQUIRED:
THERE ARE BETWEEN 201 AND 300 TOTAL PARKING SPACES REQUIRING 7 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED:
7 ADA ACCESSIBLE SPACES, 3 OF WHICH SHALL BE VAN ACCESSIBLE

| SURFACE PARKING | | STRUCTURED PARKING | | TOTAL PARKING | |
|-----------------|-------------------|--------------------|----------------|-------------------|----------------|
| STANDARD SPACES | ACCESSIBLE SPACES | STANDARD SPACES | COMPACT SPACES | ACCESSIBLE SPACES | TOTAL PROVIDED |
| 12 | 4 | 207 | 16 | 3 | 242 |
| | | | | | 383 |

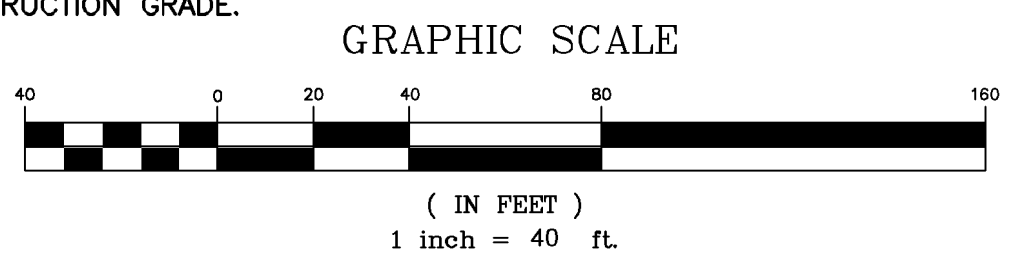
PARKING NOTES:

(1) OFF-STREET PARKING SPACES SHALL BE DESIGNED WITH MINIMUM DIMENSIONS OF 9 FEET BY 18 FEET.

LAND USAGE TABLE - LIMITED COMMERCIAL DISTRICT (LCD) & WATER RESOURCE OVERLAY PROTECTION DISTRICTS - ZONE 3

| ITEM | EXISTING | PROPOSED | REQUIRED/ALLOWED |
|-----------------------------|------------------|---------------------|-------------------|
| MINIMUM LOT AREA | (2) 23.32± ACRES | 23.32 ACRES | 5.00 ACRES |
| MINIMUM FRONTAGE | (1) 495.2 FEET | 495.2 FEET | N/A |
| MINIMUM LOT WIDTH | 291.2 FEET (6) | 291.2 FEET | 500 FEET |
| MAXIMUM BUILDING COVERAGE | (3) 0% | 9.7% | 20% |
| MAXIMUM PARKING COVERAGE | (3) 0% | 0.56% | 25% |
| MINIMUM LANDSCAPED COVERAGE | (3) 100% | 83.5% | 25% |
| MAXIMUM IMPERVIOUS COVERAGE | (5) 0% | 16.5% | 15% |
| MINIMUM FRONT YARD | (4) N/A | 204.3 FEET | 150 FEET |
| MINIMUM SIDE YARD | (4) N/A | 79.9 FEET | 100 FEET |
| MINIMUM REAR YARD | (4) N/A | 84.3 FEET | 100 FEET |
| MAXIMUM BUILDING HEIGHT | (7) N/A | 25' (3 STORIES) (8) | 35' (2.5 STORIES) |
| MINIMUM PARKING AREA | N/A | 6.4% | 5% |
| INTERIOR LANDSCAPING | | | |

- LAND USAGE TABLE NOTES:
- (1) SECTION 5.3 - SETBACKS: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
- SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
- (2) SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
- (3) SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
- (4) SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
- (5) SECTION 4.9.5.1(a) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
- (6) EXISTING NON-CONFORMING ZONING REQUIREMENT.
- (7) SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
- (8) MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-109 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.



ISSUED FOR REVIEW
APRIL 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:
**THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-THE-SEA, MA**

PROJECT NO. 2725-01 DATE: 04-16-2021
SCALE: 1"=40' DWG. NAME: C2725-01
DESIGNED BY: CMQ/SIL CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801-8501
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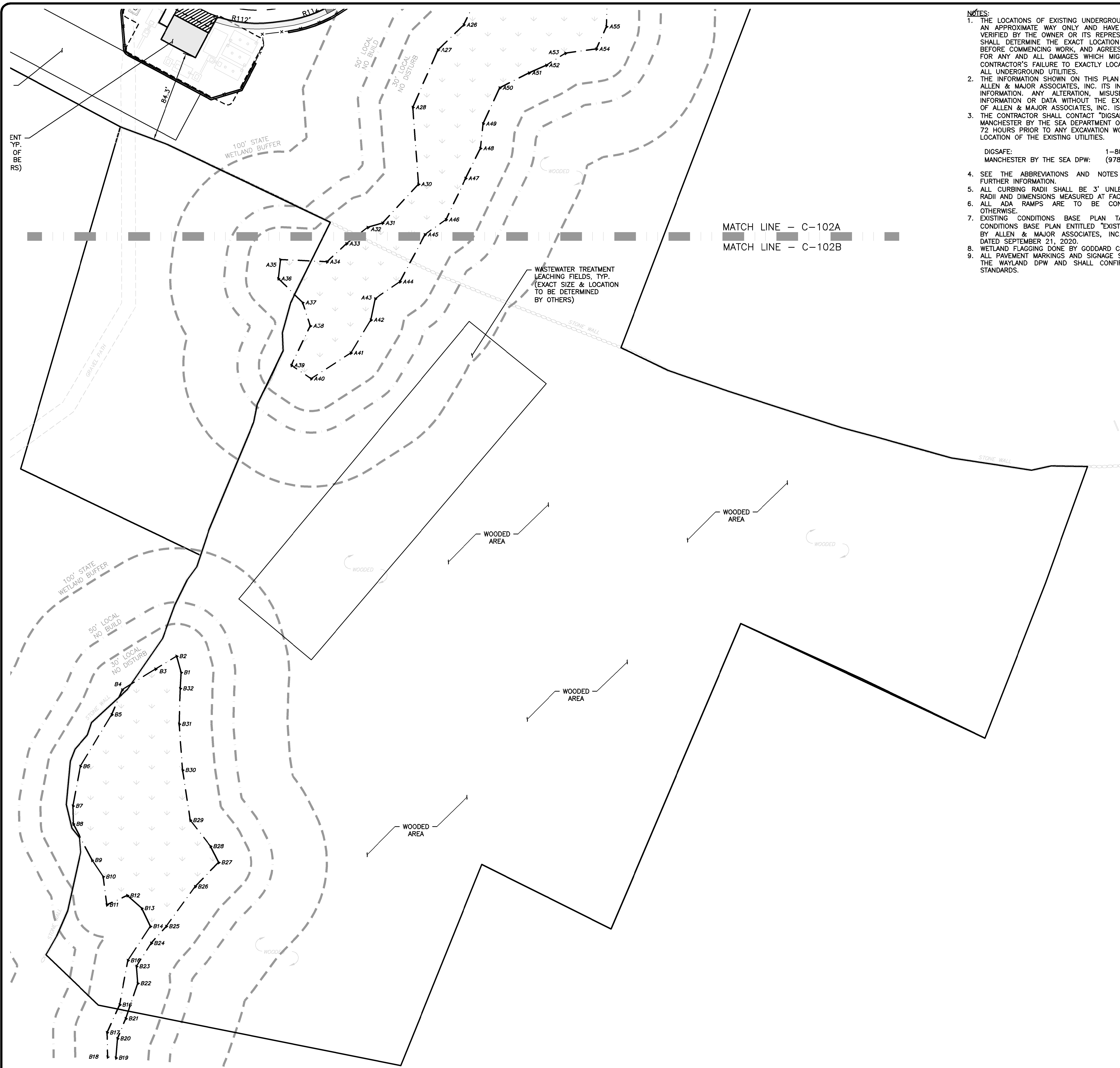
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102A

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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



- NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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DIGSAFE: 1-800-344-7233
MANCHESTER BY THE SEA DPW: (978) 526-1242

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LEGEND:

| | |
|--------------------------|--|
| PROPERTY LINE | |
| SIGN | |
| BOLLARD | |
| BUILDING | |
| BUILDING ARCHITECTURE | |
| CURB | |
| RETAINING WALL | |
| PARKING STRIPING | |
| ROADWAY STRIPING | |
| TRAFFIC ARROWS | |
| HEAVY DUTY CONCRETE | |
| SIDEWALK | |
| ADA ACCESSIBLE RAMP | |
| ADA DET. WARNING SURFACE | |
| SETBACK LINE | |
| PARKING COUNT | |
| WOOD GUARDRAIL | |
| CHAIN LINK FENCE | |
| WOOD FENCE | |
| TREE LINE | |
| TRANSFORMER | |

PARKING SUMMARY CHART

| | |
|------------------------------------|--------------------------------------|
| USE: RESIDENTIAL HOMES: | |
| 55 ONE-BEDROOMS PROVIDED | (1 BEDROOM = 2 SPACES) = 110 SPACES |
| 66 TWO-BEDROOMS PROVIDED | (2 BEDROOMS = 3 SPACES) = 198 SPACES |
| 15 THREE-BEDROOMS PROVIDED | (3 BEDROOMS = 5 SPACES) = 75 SPACES |
| 00 FOUR-BEDROOMS PROVIDED | (4 BEDROOMS = 6 SPACES) = 00 SPACES |
| TOTAL SPACES REQUIRED = 383 SPACES | |

242 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, 226 OF WHICH ARE LOCATED WITHIN THE PODIUM/GARAGE PARKING AREAS AND 16 TOTAL SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.78 SPACES PER 1 DWELLING UNIT.

ADA REQUIRED:
THERE ARE BETWEEN 201 AND 300 TOTAL PARKING SPACES REQUIRING 7 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED:
7 ADA ACCESSIBLE SPACES, 3 OF WHICH SHALL BE VAN ACCESSIBLE

| SURFACE PARKING | | STRUCTURED PARKING | | TOTAL PARKING | |
|-----------------|-------------------|--------------------|----------------|-------------------|----------------|
| STANDARD SPACES | ACCESSIBLE SPACES | STANDARD SPACES | COMPACT SPACES | ACCESSIBLE SPACES | TOTAL PROVIDED |
| 12 | 4 | 207 | 16 | 3 | 242 |
| | | | | | 383 |

PARKING NOTES:

- (1) OFF-STREET PARKING SPACES SHALL BE DESIGNED WITH MINIMUM DIMENSIONS OF 9 FEET BY 18 FEET.

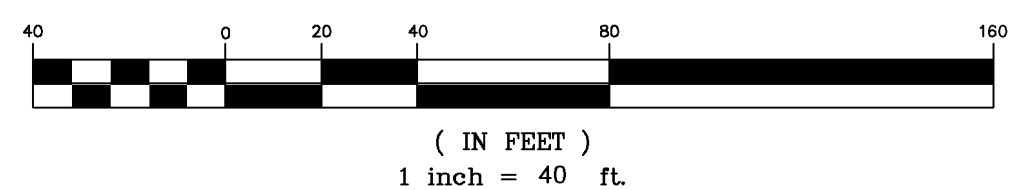
LAND USAGE TABLE - LIMITED COMMERCIAL DISTRICT (LCD) & WATER RESOURCE OVERLAY PROTECTION DISTRICTS - ZONE 3

| ITEM | EXISTING | PROPOSED | REQUIRED/ALLOWED |
|--------------------------------|------------------|---------------------|-------------------|
| MINIMUM LOT AREA | (2) 23.32± ACRES | 23.32 ACRES | 5.00 ACRES |
| MINIMUM FRONTAGE | (1) 495.2 FEET | 495.2 FEET | N/A |
| MINIMUM LOT WIDTH | 291.2 FEET (6) | 291.2 FEET | 500 FEET |
| MAXIMUM BUILDING COVERAGE | (3) 0% | 9.7% | 20% |
| MAXIMUM PARKING COVERAGE | (3) 0% | 0.56% | 25% |
| MINIMUM LANDSCAPED COVERAGE(3) | 100% | 83.5% | 25% |
| MAXIMUM IMPERVIOUS COVERAGE(5) | 0% | 16.5% | 15% |
| MINIMUM FRONT YARD | (4) N/A | 204.3 FEET | 150 FEET |
| MINIMUM SIDE YARD | (4) N/A | 79.9 FEET | 100 FEET |
| MINIMUM REAR YARD | (4) N/A | 84.3 FEET | 100 FEET |
| MAXIMUM BUILDING HEIGHT | (7) N/A | 25' (3 STORIES) (8) | 35' (2.5 STORIES) |
| MINIMUM PARKING AREA | | | |
| INTERIOR LANDSCAPING | N/A | 6.4% | 5% |

LAND USAGE TABLE NOTES:

- (1) SECTION 5.3 - SETBACK: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
- SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
- (2) SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
- (3) SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
- (4) SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
- (5) SECTION 4.9.5.1(p) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
- (6) EXISTING NON-CONFORMING ZONING REQUIREMENT.
- (7) SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
- (8) MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-109 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.

GRAPHIC SCALE



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1-888-DIG-SAFE
1-888-344-7233

ISSUED FOR
REVIEW
APRIL 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:

THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-TH-SEA, MA

PROJECT NO. 2725-01 DATE: 04-16-2021

SCALE: 1"=40' DWG. NAME: C2725-01

DESIGNED BY: CMQ/SIL CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
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TEL: (781) 955-6889
FAX: (781) 955-2856

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

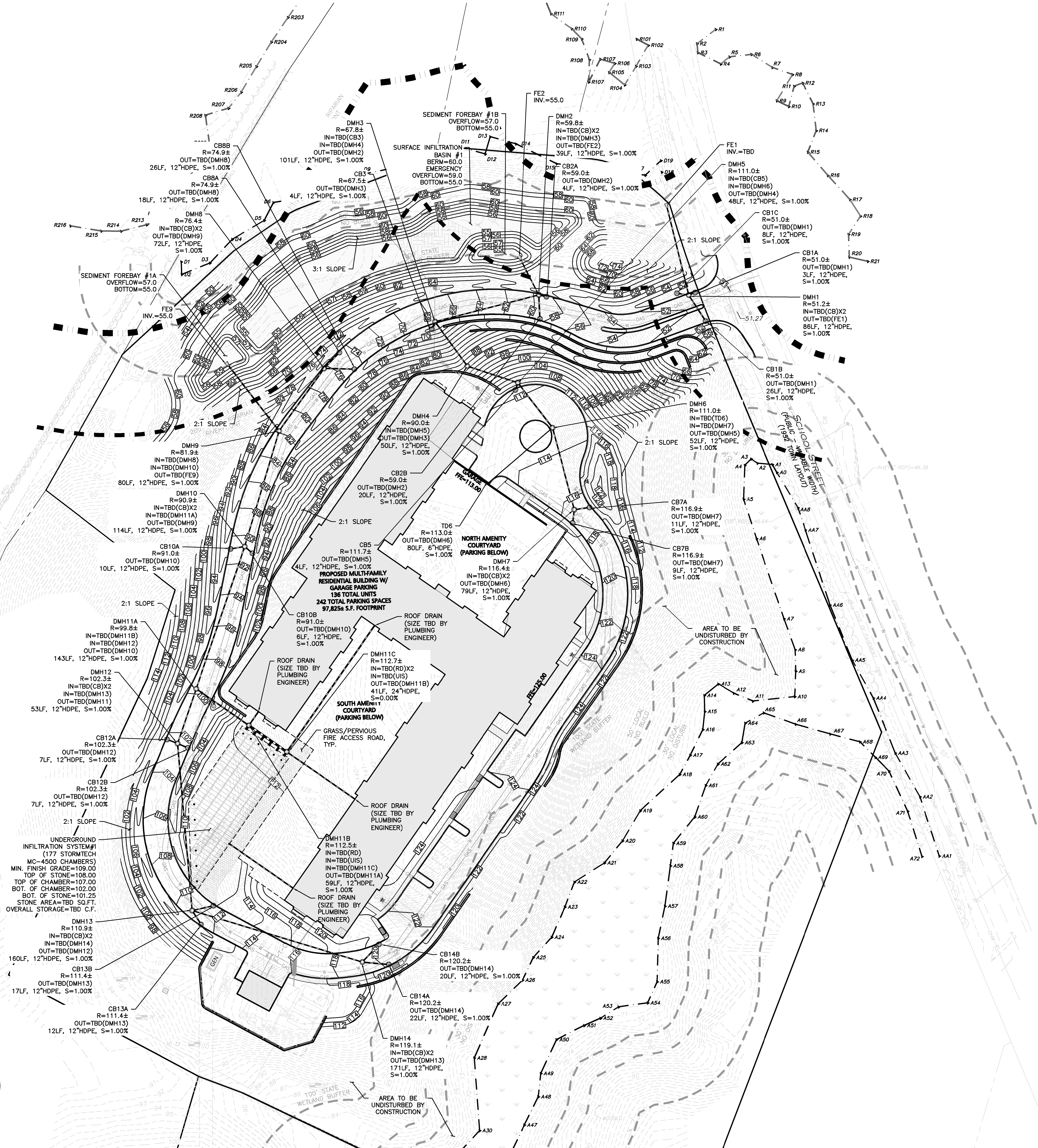
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DRAWING TITLE:

LAYOUT & MATERIALS PLAN

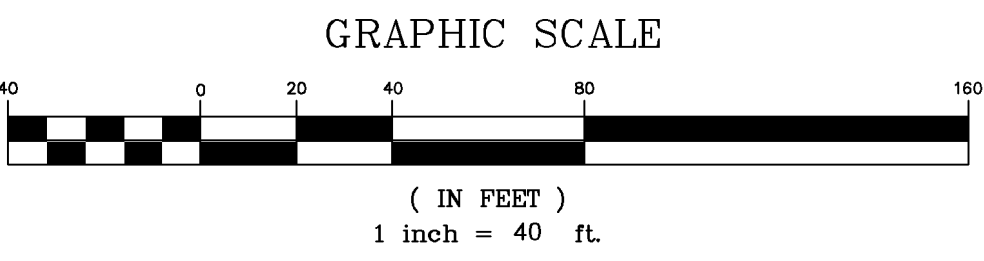
SHEET No.

C-102B



| LEGEND | |
|----------------------------|----------|
| DRAIN MANHOLE | ○ |
| CATCH BASIN | ● |
| CATCH BASIN - DOUBLE GRATE | ⊙ |
| DRAIN MANHOLE W/ WEIR | ⊖ |
| AREA DRAIN | — |
| CLEANOUT | • |
| SPOT GRADE | X 124.25 |
| DRAIN LINE | — |
| 10' CONTOUR | 120 |
| 2' CONTOUR | 124 |
| INFILTRATION SYSTEM | — |
| INFILTRATION CHAMBERS | — |
| ISOLATOR ROW | — |

- NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES. DIGSAFE: 1-888-344-7233
 - ANY ROOF DRAINAGE PIPE LOCATED WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE CAST IRON PIPE PER MA PLUMBING CODE.
 - ALL "CDS" STRUCTURES SHALL BE SIZED USING THE WATER QUALITY FLOW RATE PER MASS STORMWATER HANDBOOK.
 - FINAL DESIGN FOR ALL THE RETAINING WALLS SHALL BE COORDINATED WITH THE APPROPRIATE TOWN STAFF FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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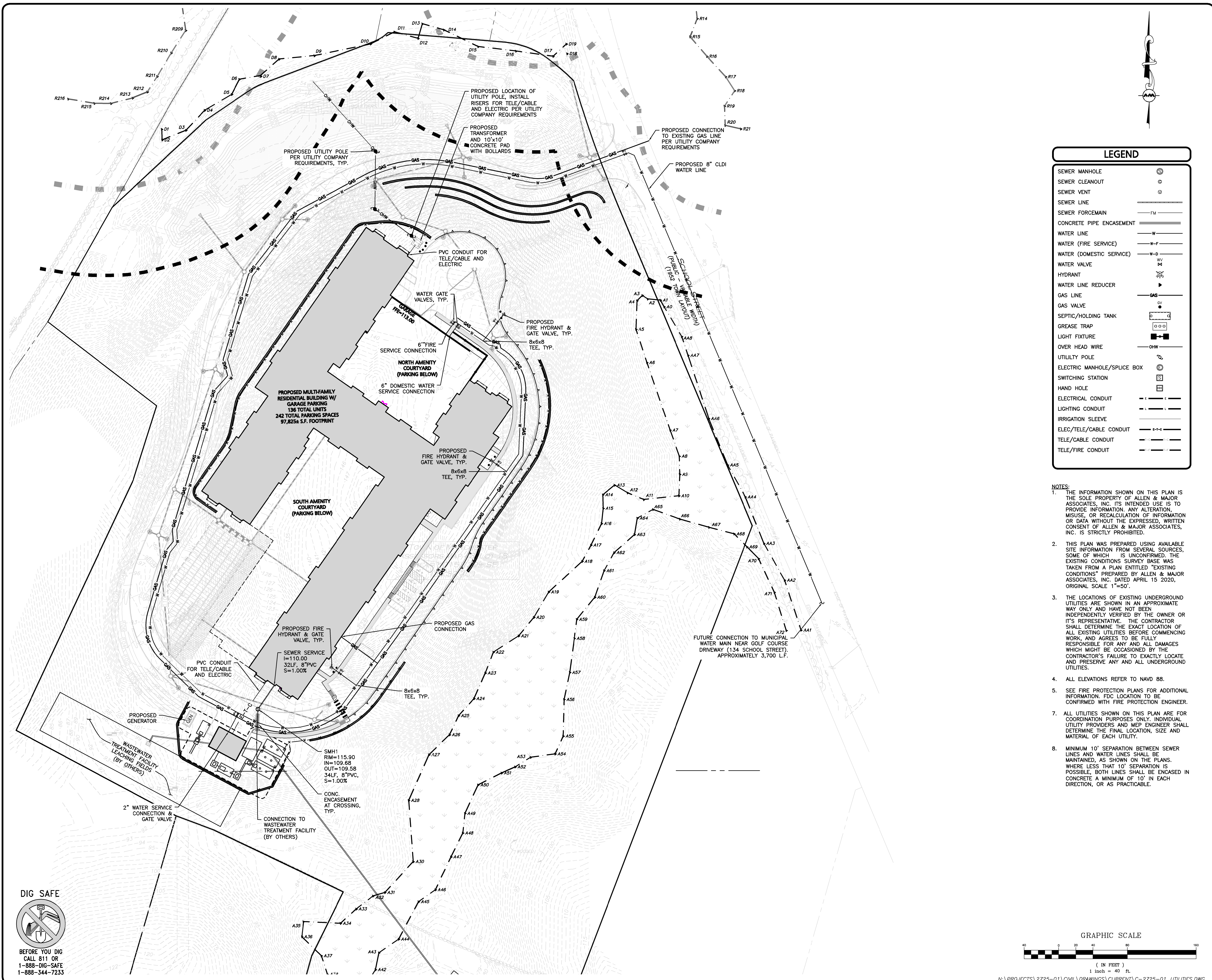
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| SCALE: | 1"=40' | DWG. NAME: | C2725-01 |
| DESIGNED BY: | CMQ/SIL | CHECKED BY: | CMQ |

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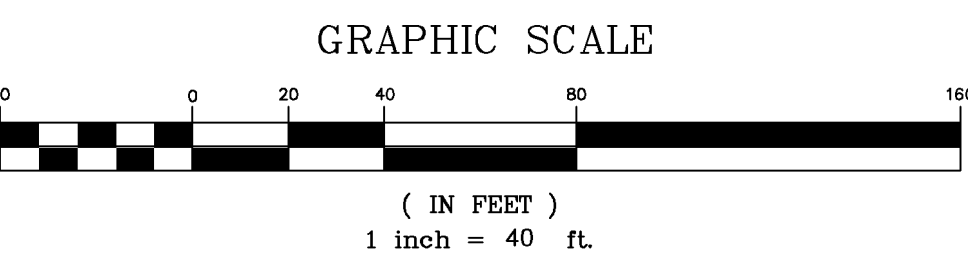
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| DRAWING TITLE: GRADING & DRAINAGE PLAN | SHEET No. C-103 |
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LEGEND

| | |
|-----------------------------|-----------|
| SEWER MANHOLE | ⊙ |
| SEWER CLEANOUT | ⊙ |
| SEWER VENT | ⊙ |
| SEWER LINE | — FM — |
| SEWER FORCEMAIN | — FM — |
| CONCRETE PIPE ENCASEMENT | — W — |
| WATER LINE | — W — |
| WATER (FIRE SERVICE) | — W-F — |
| WATER (DOMESTIC SERVICE) | — W-D — |
| WATER VALVE | WV |
| HYDRANT | H |
| WATER LINE REDUCER | — W — |
| GAS LINE | — GAS — |
| GAS VALVE | GV |
| SEPTIC/HOLDING TANK | ⊙ |
| GREASE TRAP | ⊙ |
| LIGHT FIXTURE | ⊙ |
| OVER HEAD WIRE | — OHW — |
| UTILITY POLE | ⊙ |
| ELECTRIC MANHOLE/SPLICE BOX | ⊙ |
| SWITCHING STATION | ⊙ |
| HAND HOLE | ⊙ |
| ELECTRICAL CONDUIT | — E — |
| LIGHTING CONDUIT | — L — |
| IRRIGATION SLEEVE | — I — |
| ELEC/TELE/CABLE CONDUIT | — E-T-C — |
| TELE/CABLE CONDUIT | — T-C — |
| TELE/FIRE CONDUIT | — T-F — |

- NOTES:**
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 - THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED APRIL 15 2020, ORIGINAL SCALE 1"=50'.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - ALL ELEVATIONS REFER TO NAVD 88.
 - SEE FIRE PROTECTION PLANS FOR ADDITIONAL INFORMATION. FDC LOCATION TO BE CONFIRMED WITH FIRE PROTECTION ENGINEER.
 - ALL UTILITIES SHOWN ON THIS PLAN ARE FOR COORDINATION PURPOSES ONLY. INDIVIDUAL UTILITY PROVIDERS AND MEP ENGINEER SHALL DETERMINE THE FINAL LOCATION, SIZE AND MATERIAL OF EACH UTILITY.
 - MINIMUM 10' SEPARATION BETWEEN SEWER LINES AND WATER LINES SHALL BE MAINTAINED, AS SHOWN ON THE PLANS. WHERE LESS THAN 10' SEPARATION IS POSSIBLE, BOTH LINES SHALL BE ENCASED IN CONCRETE A MINIMUM OF 10' IN EACH DIRECTION, OR AS PRACTICABLE.



ISSUED FOR REVIEW
APRIL 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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