

# THE SANCTUARY

AT MANCHESTER-BY-THE-SEA, MA

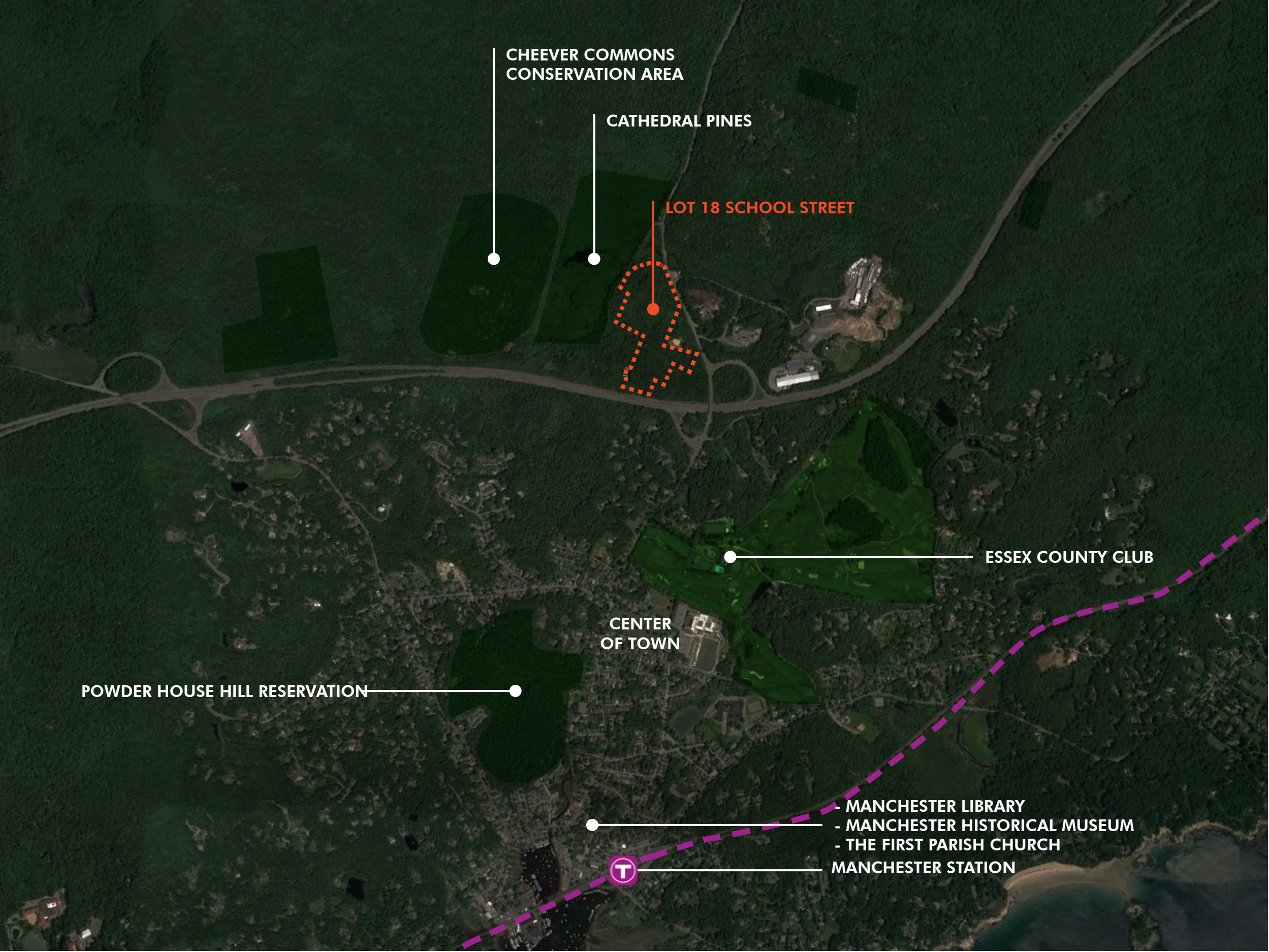
SLV SCHOOL STREET, LLC

SEPTEMBER 24, 2020

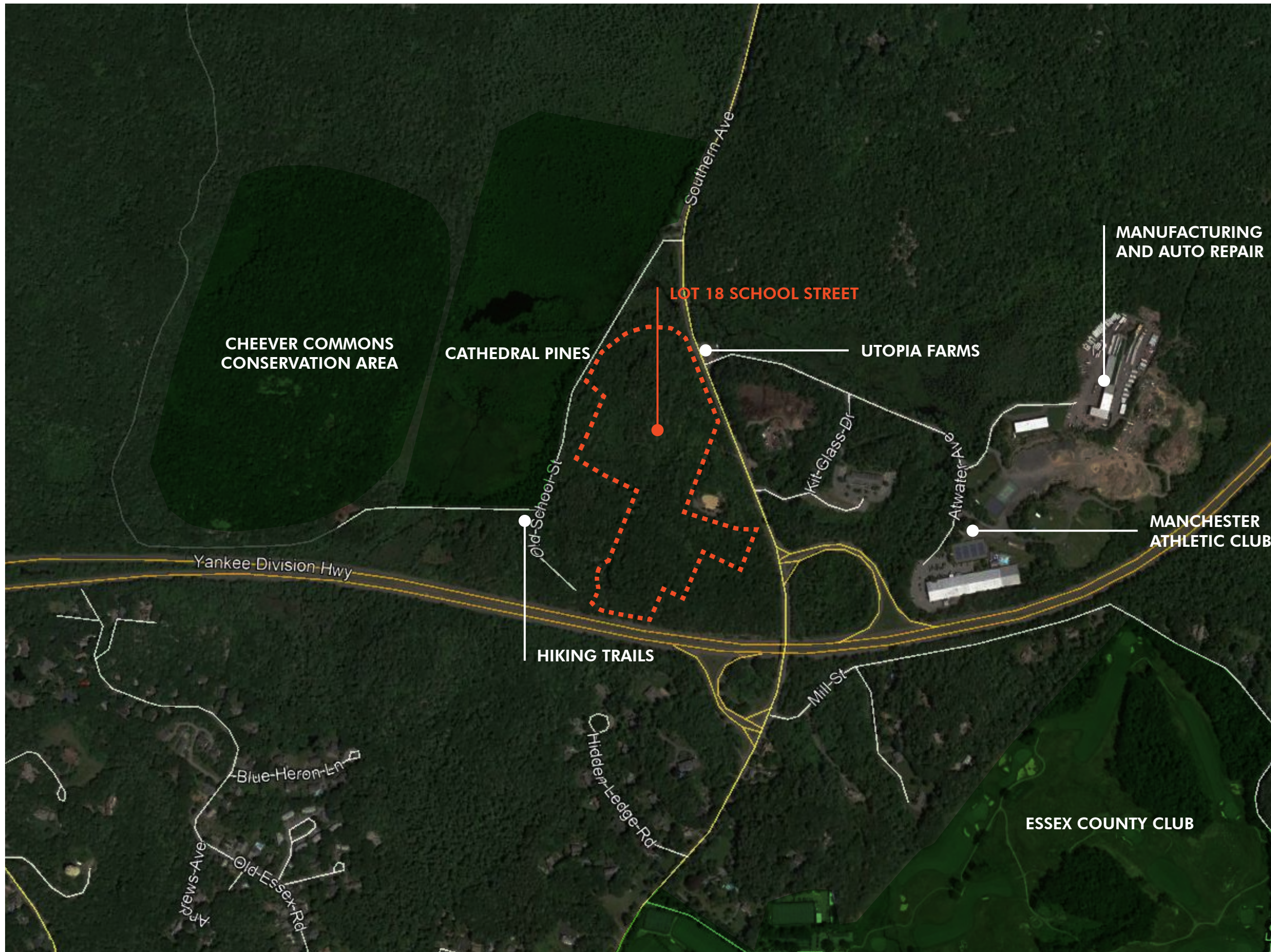


EMBARC









**LOT 18 SCHOOL ST**  
- LOT SF - 1,011,184 SF  
- ZONING DISTRICT - LCD  
- LAND USE CODE - 390







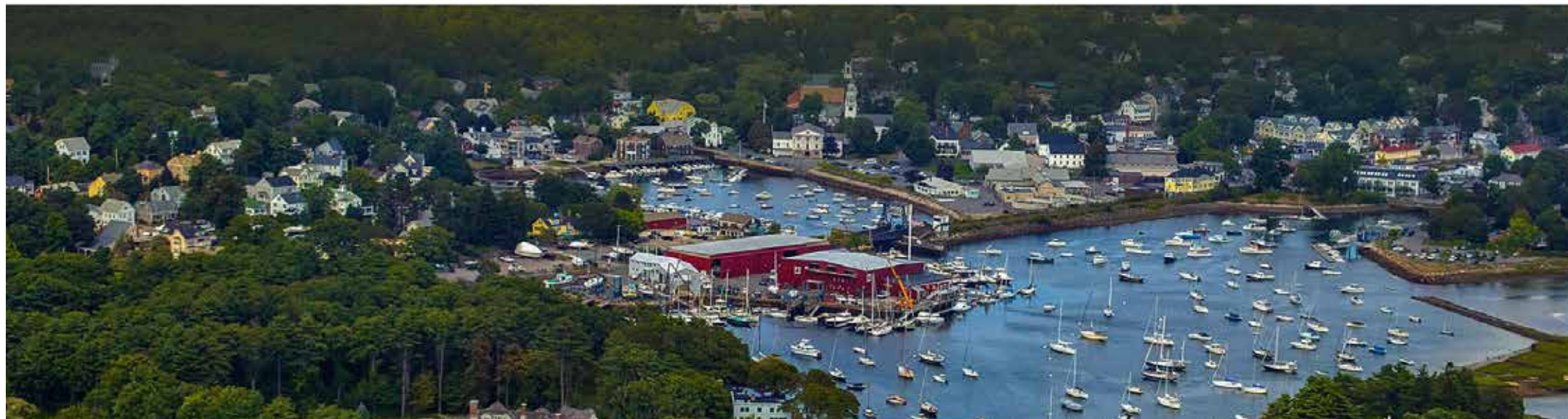
MANCHESTER LIBRARY



KRAGSYDE MUSEUM

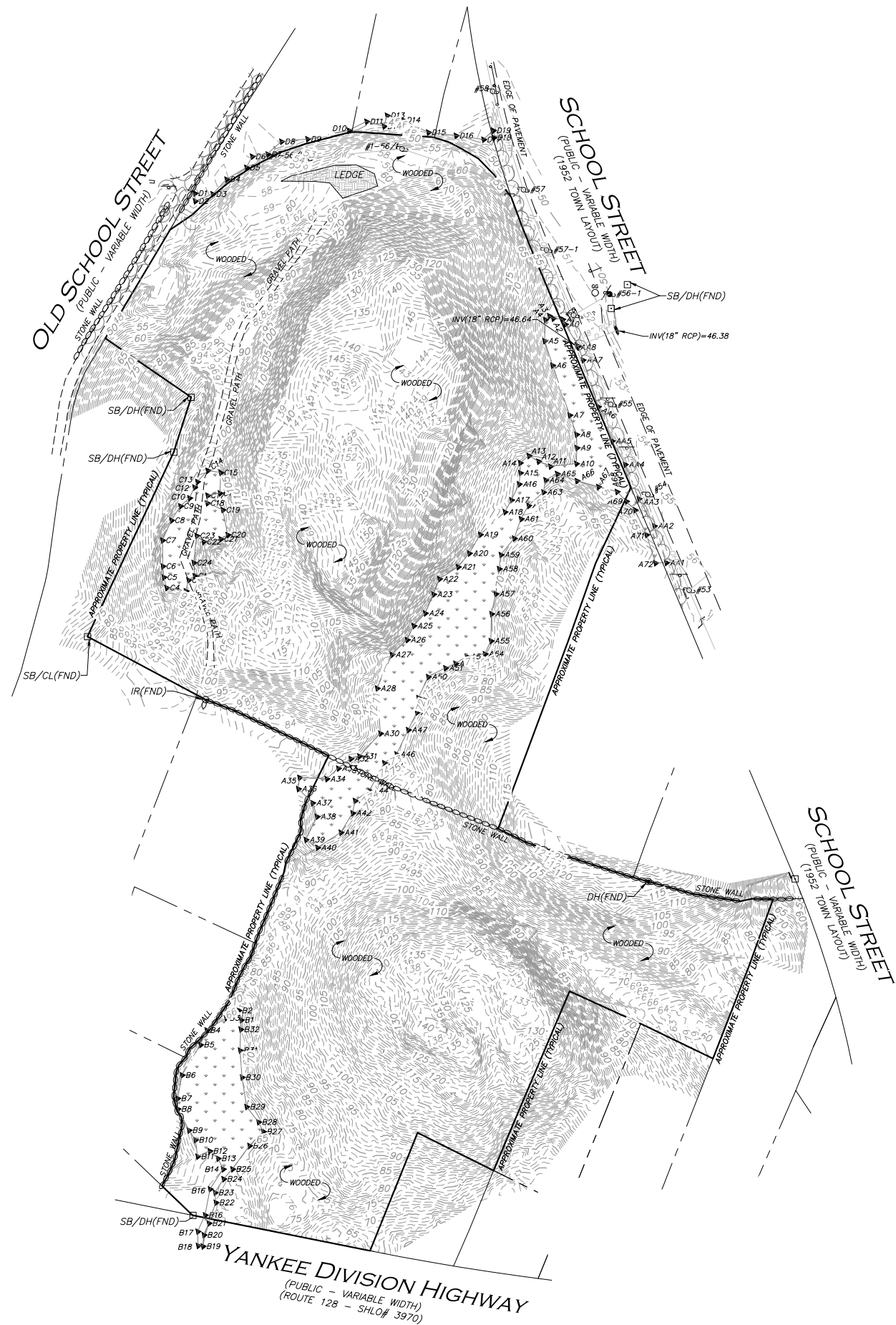


THE FIRST PARISH CHURCH



AERIAL OF COVE



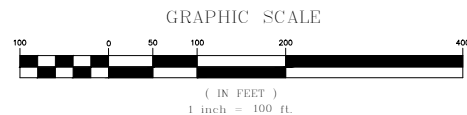


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NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES INC.



N:\PROJECTS\2725-01\SURVEY\DRAWINGS\CURRENT\5-2725-01-EC-100-SCALE.DWG  
FB# 1736 PG. 109

ISSUED FOR  
REVIEW  
JANUARY 22, 2020

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
SLV SCHOOL STREET, LLC  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494

PROJECT:  
ASSESSORS MAP 43, LOT 18  
SCHOOL STREET  
MANCHESTER BY THE SEA, MA

PROJECT NO. 2725-01 DATE: 01/22/2020

SCALE: 1" = 100' DWG. NAME: S-2725-01-EC

DRAFTED BY: KAC CHECKED BY: NIL

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering ♦ land surveying  
environmental consulting ♦ landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 3  
WOBURN MA 01801-8501  
TEL: (781) 935-6889  
FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-101

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A5





VIEW OF EXISTING SITE - SCHOOL ST. - FACING SOUTH



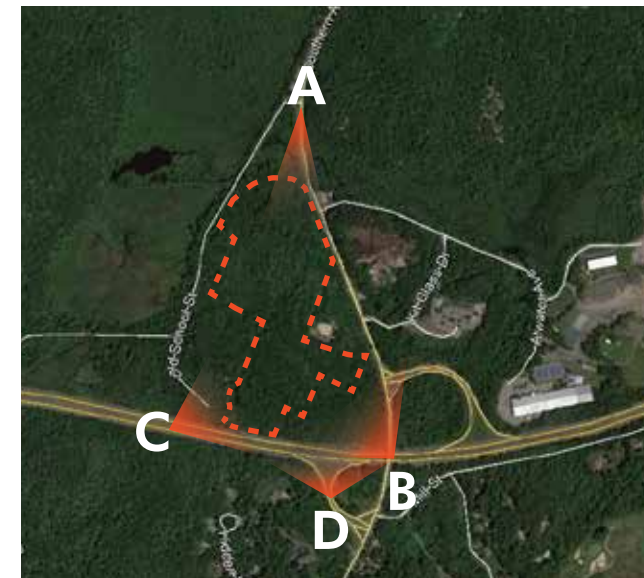
VIEW OF EXISTING SITE - SCHOOL ST - FACING WEST



VIEW OF EXISTING SITE FROM ROUTE 128 ON-RAMP - FACING NORTH



VIEW OF EXISTING SITE - ROUTE 128 - FACING EAST

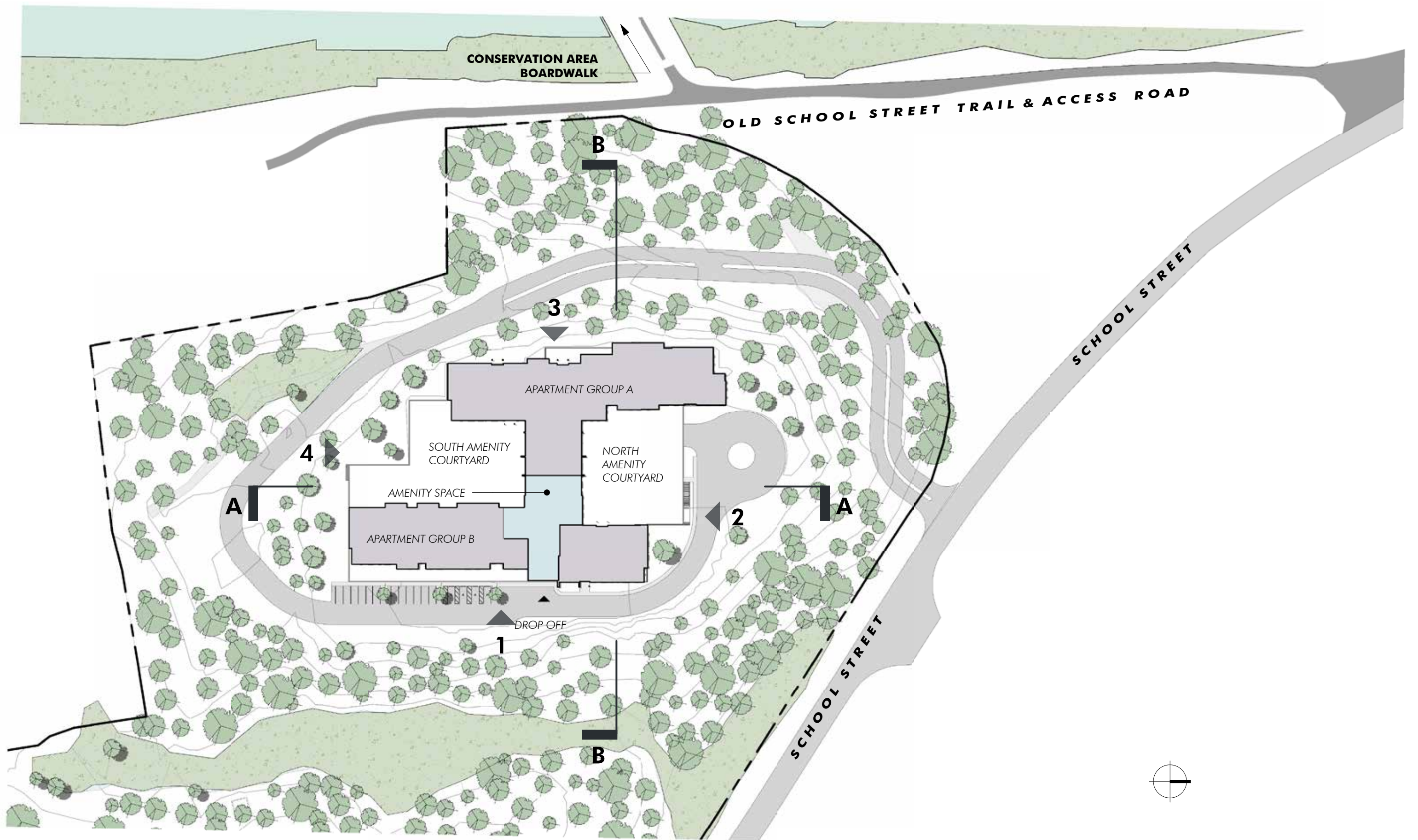


SITE PHOTOS

EMBARC

**A6**







**247 TOTAL PARKING SPACES**  
**1.57 SPACES / UNIT**

**STORAGE**

**UTILITY**

**STAIR**

**BUS AND SHUTTLE SHELTER**

**UTILITY ROOM, TYP. UNLESS OTHERWISE NOTED**

**TRASH**

**STAIR**

**LOBBY**  
250 SF

**GARAGE PARKING**  
231 SPACES

**16 SURFACE SPACES**

**EXTENT OF BUILDING ABOVE**

**STAIR**

The site plan illustrates the layout of the 10000 S. 10th St. project, featuring two main building wings and two amenity courtyards. The plan includes the following details:

- Unit Layouts:** Units are color-coded by bedroom count: 3 BD (purple), 2 BD (dark grey), 1 BD+ (medium grey), and 1 BD (light grey). Each unit is labeled with its bedroom count and square footage (SF).
- Amenity Areas:**
  - North Amenity Courtyard:** Located in the upper central portion of the plan.
  - South Amenity Courtyard:** Located in the lower central portion of the plan.
  - Admin, Lobby, Amenity:** A large central area (6,730 SF) containing an entry lobby, stairs, and a utility room (typical unless otherwise noted).
  - Drop-off Area:** Situated on the right side of the plan, adjacent to the main building wing.
- Other Features:** The plan shows various outdoor spaces, including patios and courtyards, as well as landscaping elements like trees and shrubs. A trash area is also indicated near the central amenity space.

1st FLOOR

UTILITY ROOM, TYP. UNLESS OTHERWISE NOTED

TRASH

STAIR

STAIR

STAIR

STAIR

AMENITY

3 BD 1,190 SF

2 BD 1,020 SF

2 BD 1,060 SF

1 BD+ 935 SF

1 BD+ 915 SF

1 BD+ 945 SF

2 BD+ 1,125 SF

2 BD+ 1,180 SF

1 BD+ 1,010 SF

1 BD+ 960 SF

2 BD+ 1,120 SF

1 BD 795 SF

1 BD 820 SF

3 BD 1,275 SF

1 BD 930 SF

1 BD 855 SF

2 BD 1,025 SF

2 BD 1,040 SF

2 BD+ 1,125 SF

1 BD 835 SF

3 BD 1,270 SF

2 BD+ 1,110 SF

1 BD+ 905 SF

1 BD 850 SF

1 BD+ 970 SF

1 BD+ 1,125 SF

1 BD 825 SF

1 BD+ 925 SF

1 BD+ 935 SF

2 BD+ 1,155 SF

2 BD+ 1,175 SF

3 BD 1,180 SF

2 BD+ 1,215 SF

2 BD+ 1,125 SF

2 BD+ 1,210 SF

1 BD+ 915 SF

1 BD+ 915 SF

1 BD+ 925 SF

1 BD+ 935 SF

2 BD+ 1,215 SF

3 BD 1,190 SF

2 BD 1,020 SF

2 BD 1,060 SF

1 BD+ 935 SF

1 BD+ 915 SF

1 BD+ 945 SF

2 BD+ 1,125 SF

2 BD+ 1,180 SF

1 BD+ 1,010 SF

1 BD+ 960 SF

2 BD+ 1,120 SF

1 BD 795 SF

1 BD 820 SF

3 BD 1,275 SF

1 BD 930 SF

1 BD 855 SF

2 BD 1,025 SF

2 BD 1,040 SF

2 BD+ 1,125 SF

1 BD 835 SF

3 BD 1,270 SF

2 BD+ 1,110 SF

1 BD+ 905 SF

1 BD 850 SF

1 BD+ 970 SF

1 BD+ 1,125 SF

1 BD 825 SF

1 BD+ 925 SF

1 BD+ 935 SF

2 BD+ 1,155 SF

2 BD+ 1,175 SF

3 BD 1,180 SF

2 BD+ 1,215 SF

2 BD+ 1,125 SF

2 BD+ 1,210 SF

1 BD+ 915 SF

1 BD+ 915 SF

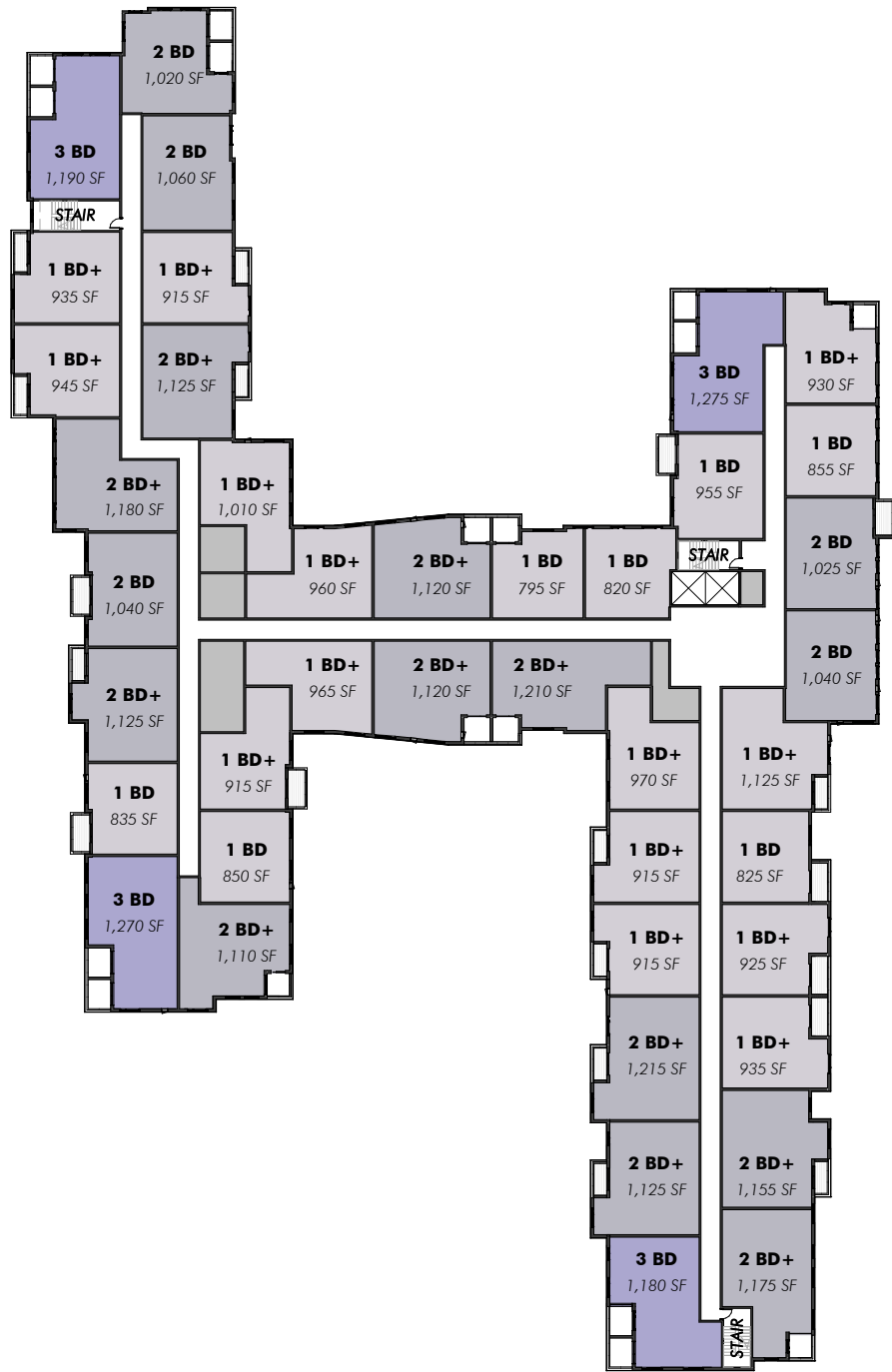
1 BD+ 925 SF

1 BD+ 935 SF

2 BD+ 1,215 SF

**A8**

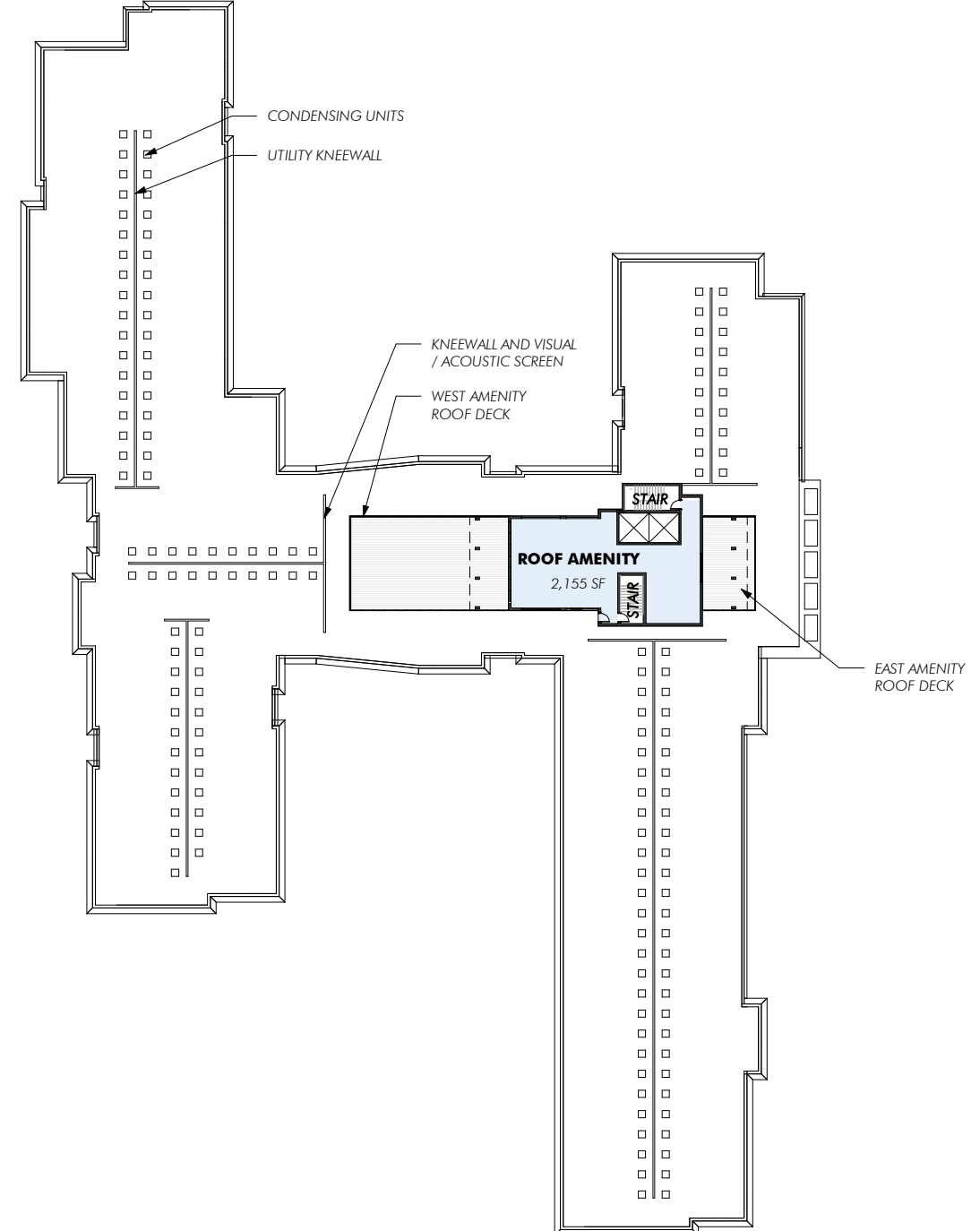




THIRD FLOOR PLAN  
41 UNITS



FOURTH FLOOR PLAN  
41 UNITS



ROOF PLAN  
ROOFTOP AMENITY SPACE AND DECKS



THE SANCTUARY AT MANCHESTER BY THE SEA

Site Area	1,011,151 SF
1st Floor GSF	49,090
2nd Floor GSF	49,225
3rd Floor GSF	49,315
4th Floor GSF	48,585
5th Floor GSF	2,770
Total Building GSF	198,985
Parking Garage GSF	87,715
Total GSF w/ Parking	286,700
FAR	0.19
Typical Floor Plate	49,300 GSF
Site Coverage	19%
Building Height	62 FT 4 IN
Number of Stories	5
Total Parking Spaces	247
Garage Parking Spaces	231
Surface Parking Spaces	16
Parking Ratio	1.5

Total Residential Units	157
1 Bedroom	32 (20%) 850 SF Avg
1 Bedroom +	48 (31%) 960 SF Avg
2 Bedroom	23 (15%) 1,050 SF Avg
2 Bedroom +	38 (24%) 1,145 SF Avg
3 Bedroom	16 (10%) 1,240 SF Avg
Typical Residential Floor (3)	41
1 Bedroom	7
1 Bedroom +	14
2 Bedroom	5
2 Bedroom +	11
3 Bedroom	4
Indoor Amenity Space	10,740 GSF
South Amenity Deck	16,600 GSF
North Amenity Deck	15,190 GSF
Outdoor Amenity Deck	31,790 GSF





## FACADE STRATEGY

THE FACADE COMPOSITION OF THE BUILDING IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, A COMMON STYLE FOUND THROUGHOUT THE NORTH SHORE OF MASSACHUSETTS

SOME QUEUES WE ARE TAKING FROM THIS BUILDING STYLE:

- NEUTRAL AND NATURAL COLOR PALETTE
- CLAPBOARD BUILDING MATERIAL
- STRONG HORIZONTAL DATUM LINES
- BALCONIES AND WINDOWS INCORPORATED INTO HORIZONTAL BANDING





40 BEACH STREET,  
MANCHESTER BY THE SEA

## FACADE STRATEGY

ALONG WITH SHINGLE STYLE ARCHITECTURE, THE DESIGN IS ALSO A RIFF ON THE ARCHITECTURAL STYLES PREVALENT IN THE HISTORIC CENTER OF MANCHESTER BY THE SEA

**A.**  
CLAPBOARD AND TRIM DETAILING

**B.**  
WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES CREATE "BANDS" IN FACADE. WINDOWS ARE ALIGNED HORIZONTALLY WITHIN BANDS.

**C.**  
OUTDOOR SPACE "CUT OUT" FROM MASSING, AS OPPOSED TO BEING TACKED-ONTO MASSING



SCHOOL ST. AND MA-27  
INTERSECTION,  
MANCHESTER BY THE SEA





## FACADE STRATEGY

THE BUILDING FACADE COMPOSITION IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, AS WELL AS A RIFF ON THE HISTORIC ARCHITECTURE OF THE MANCHESTER TOWN-CENTER.

**A.** INCORPORATE SHINGLE STYLE DETAILING, LIKE FLAIED CLAPBOARD SKIRT

**B.** WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES

**C.** BALCONIES AND GLAZING CUT INTO THE HORIZONTAL BANDING. BALCONY RAILINGS ARE INCORPORATED INTO CLAPBOARD BANDING

**D.** PLANTING AREAS INTERACT WITH BAYS AT COURTYARD TO CREATE PRIVATE OUTDOOR SPACE FOR UNITS

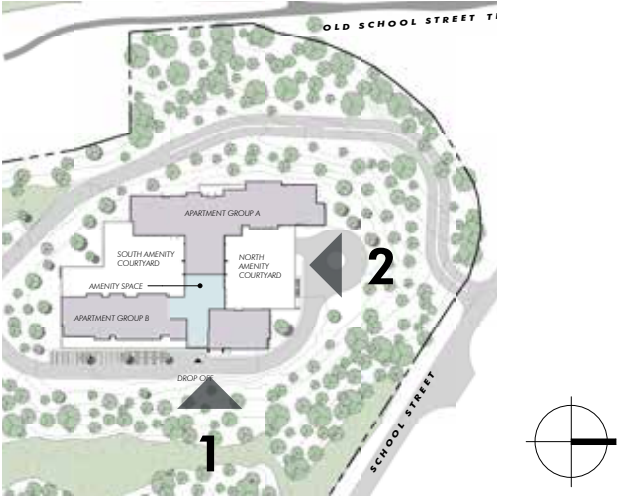




1 - EAST ELEVATION



2 - NORTH ELEVATION







- ROOF - AMENITY  
56' - 8"
- ROOF - BUILDING  
45' - 8"
- LEVEL 4  
33' - 8"
- LEVEL 3  
22' - 8"
- LEVEL 2  
11' - 8"
- LEVEL 1  
0' - 0"
- PARKING LEVEL  
-11' - 0"

3 - WEST ELEVATION



- ROOF - AMENITY  
56' - 8"
- ROOF - BUILDING  
45' - 8"
- LEVEL 4  
33' - 8"
- LEVEL 3  
22' - 8"
- LEVEL 2  
11' - 8"
- LEVEL 1  
0' - 0"
- PARKING LEVEL  
-11' - 0"

4 - SOUTH ELEVATION

