

LOCUS MAP
NOT TO SCALE

APPLICANT:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494
617-276-7261

LAND SURVEYOR, SITE ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
781-935-6889

ARCHITECT:
EMBARC STUDIOS
60 K STREET
BOSTON, MA 02127
617-766-8330

WASTEWATER DESIGN CONSULTANT:
ONSITE ENGINEERING, INC.
279 EAST CENTRAL STREET, PMB 241
FRANKLIN, MA 02038
508-553-0616

ENVIRONMENTAL CONSULTANT:
GODDARD CONSULTING, LLC
291 MAIN STREET SUITE #8
NORTHBOROUGH, MA 01532
508.393.3784

BOHLER ENGINEERING
45 FRANKLIN STREET, 5TH FLOOR
BOSTON, MA 02110
617-849-8040

SITE DEVELOPMENT PLANS FOR THE SANCTUARY AT MANCHESTER BY THE SEA 0 SCHOOL STREET MANCHESTER-BY-THE-SEA, MA



PREPARED BY:



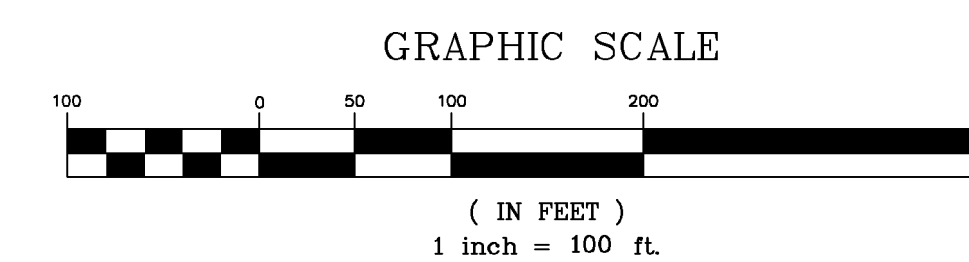
**ALLEN & MAJOR
ASSOCIATES, INC.**

civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

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FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL DRAWINGS			
LAYOUT & MATERIALS PLAN	C-102A & C-102B	09-24-2020	-
GRADING & DRAINAGE PLAN	C-103	09-24-2020	-
SNOW STORAGE PLAN	C-108	09-24-2020	-

**ISSUED FOR
REVIEW**
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

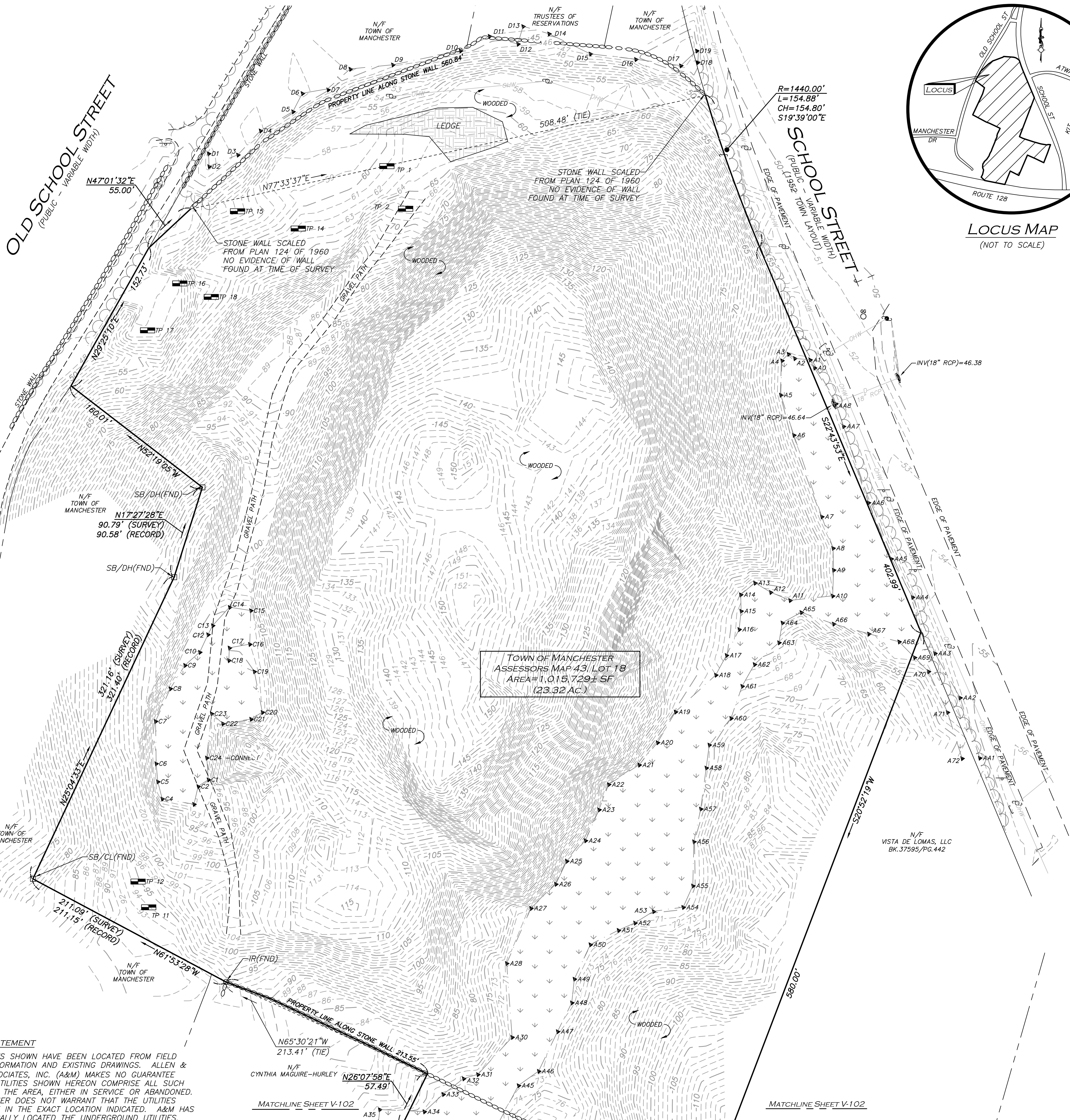
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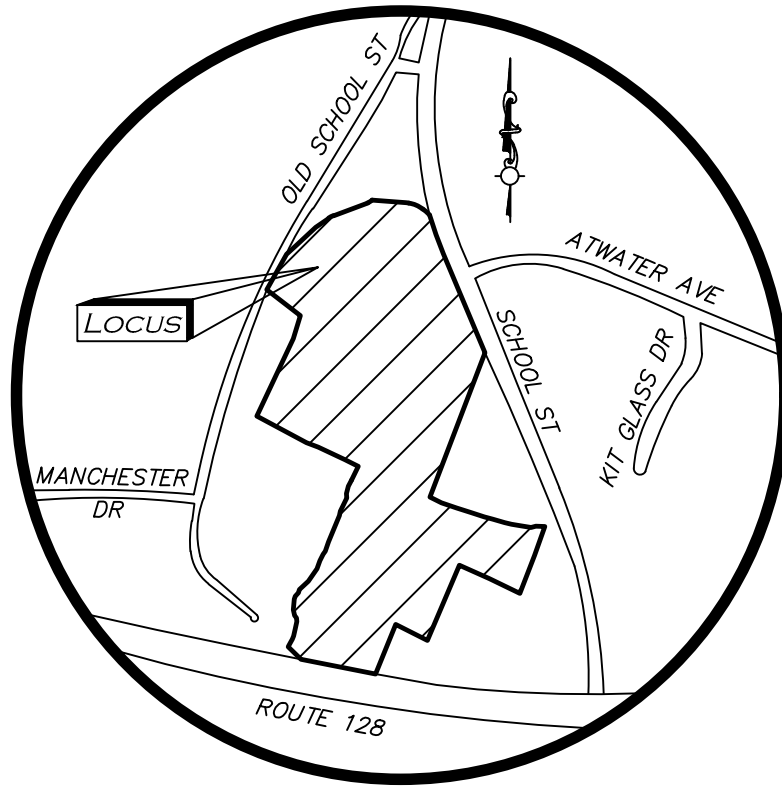
ISSUED FOR REVIEW : SEPTEMBER 24, 2020

N:\PROJECTS\2725-01\CIVIL\DRAWINGS\CURRENT\C-2725-01_COVER.DWG



UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LOCUS MAP
(NOT TO SCALE)

LEGEND

DRILL HOLE (DH)	⊙
STONE BOUND (SB)	□
IRON ROD (IR)	○
UTILITY POLE	⦿
UTILITY POLE W/ RISER	⦿
UTILITY POLE W/ LIGHT	⦿
GUY WIRE	—
GAS GATE	—
INVERT (INV)	—
FLARED END SECTION	—
TEST PIT LOCATION	—
WETLAND FLAG	—
WETLAND AREA	—
WETLAND	—
1' CONTOUR	—
5' CONTOUR	—
PROPERTY LINE	—
ABUTTERS LINE	—
STONE WALL	—
TREE LINE	—
EDGE OF PAVEMENT	—
EDGE OF GRAVEL	—
OVERHEAD WIRES	—
BITUMINOUS	BIT.
STONE BOUND W/ DRILL HOLE	SB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES

- TOWN OF MANCHESTER ASSESSORS MAP 43, LOT 18
- DEED BOOK 37672, PAGE 565
- PLAN 124 OF 1960
- OWNER OF RECORD: ANDREW BROWN, TRUSTEE OF THE BROWN FAMILY IRREVOCABLE TRUST OF 2012

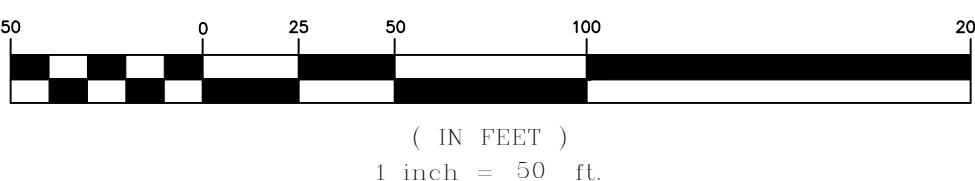
PLAN REFERENCES

- STATE HIGHWAY LAYOUT 3970
- STATE HIGHWAY LAYOUT 3992
- PLAN BOOK 229, PLAN 6

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC.
6. TEST PIT LOCATIONS SHOWN HEREON PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC BY ONSITE ENGINEERING, INC.

GRAPHIC SCALE

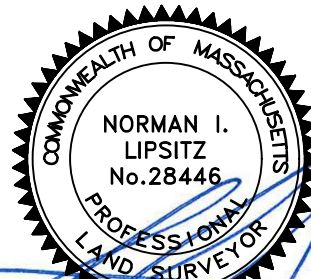


WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN NOVEMBER 21, 2019 AND JANUARY 3, 2020.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
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THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

Sept. 21, 2020
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION
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APPLICANT/OWNER:

SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:

ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA

PROJECT NO.	2725-01	DATE:	09/21/2020
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SCALE:	1" = 50'	DWG. NAME:	S-2725-01-EC
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DRAFTED BY:	KAC	CHECKED BY:	NIL
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PREPARED BY:

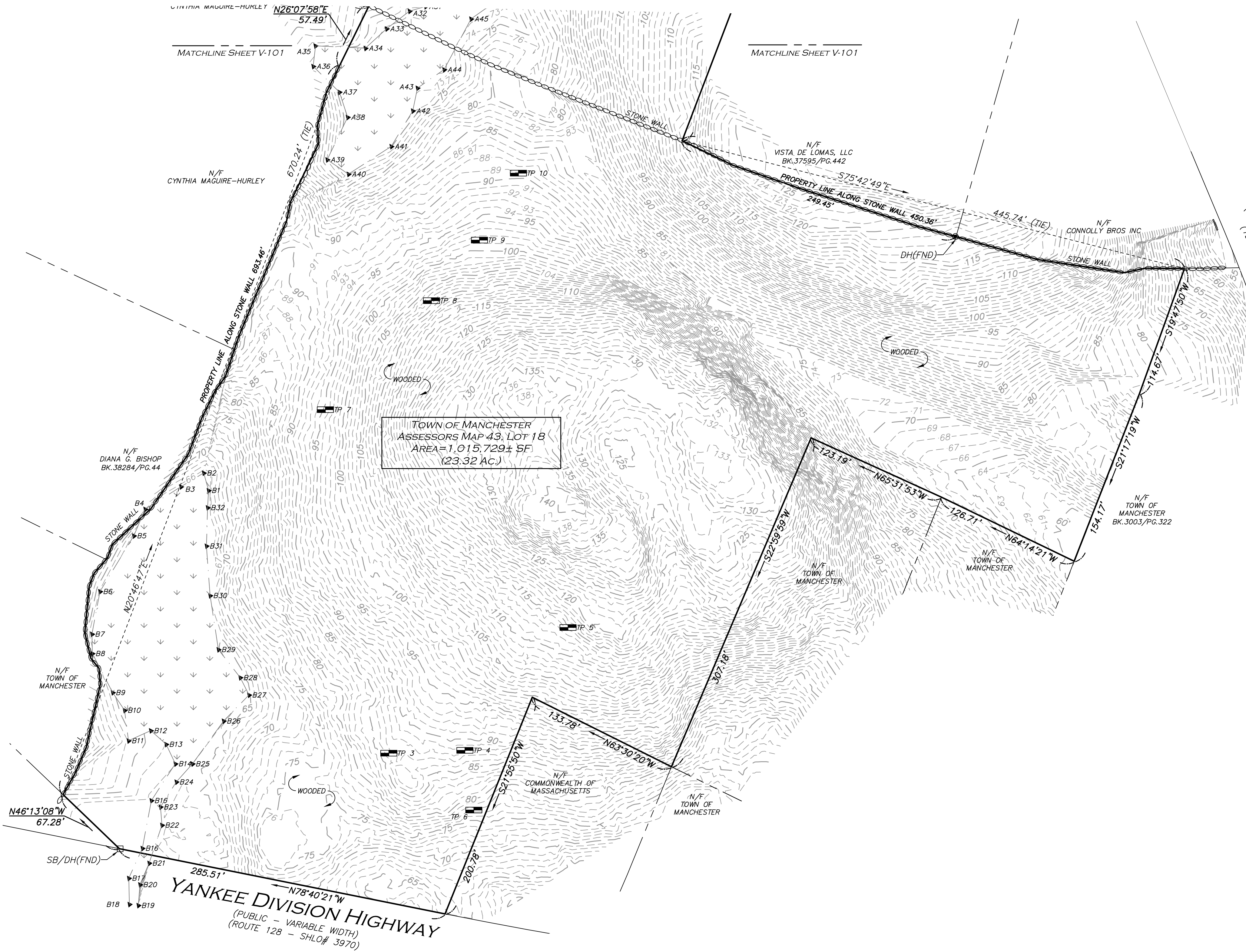
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DRAWING TITLE:	SHEET NO.
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EXISTING CONDITIONS	V-101
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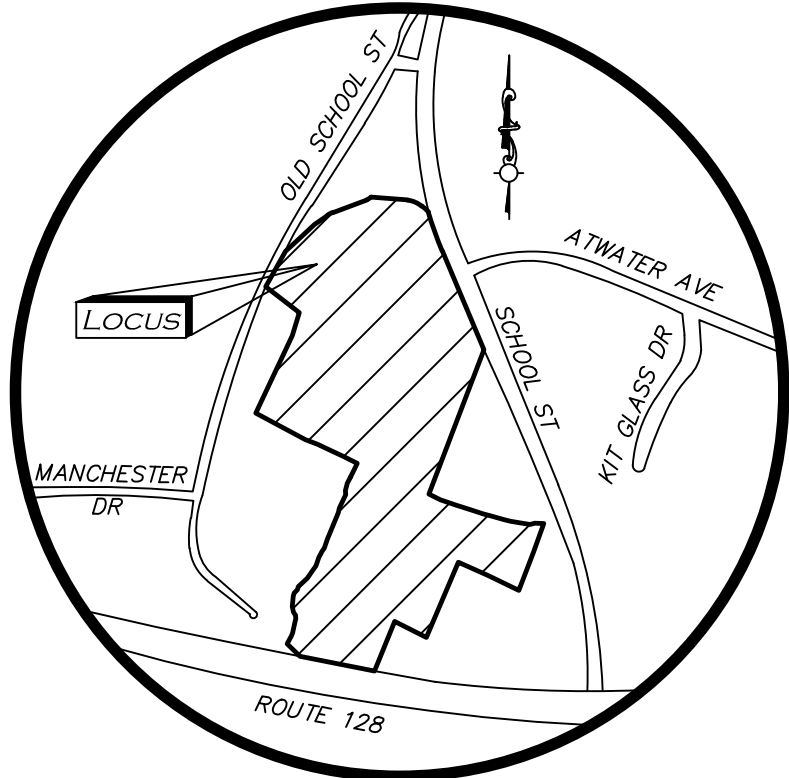


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STONE BOUND (SB)	□
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UTILITY POLE	⊙
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FLARED END SECTION	—
TEST PIT LOCATION	—
WETLAND FLAG	—
WETLAND AREA	—
WETLAND	—
1' CONTOUR	—53—
5' CONTOUR	—55—
PROPERTY LINE	—
ABUTTERS LINE	—
STONE WALL	—
TREE LINE	—
EDGE OF PAVEMENT	—
EDGE OF GRAVEL	—
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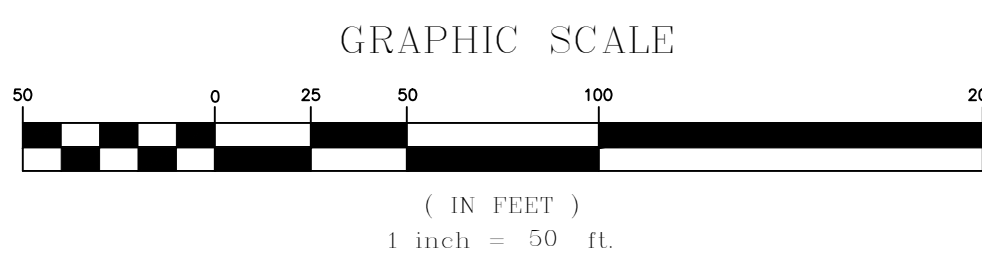
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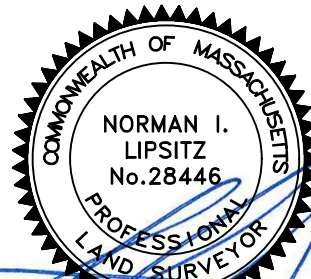
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ALLEN & MAJOR ASSOCIATES, INC.

Sept. 21, 2020

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

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257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:

ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA

PROJECT NO.	2725-01	DATE:	09/21/2020
SCALE:	1" = 50'	DWG. NAME:	S-2725-01-EC
DRAFTED BY:	KAC	CHECKED BY:	NIL

PREPARED BY:

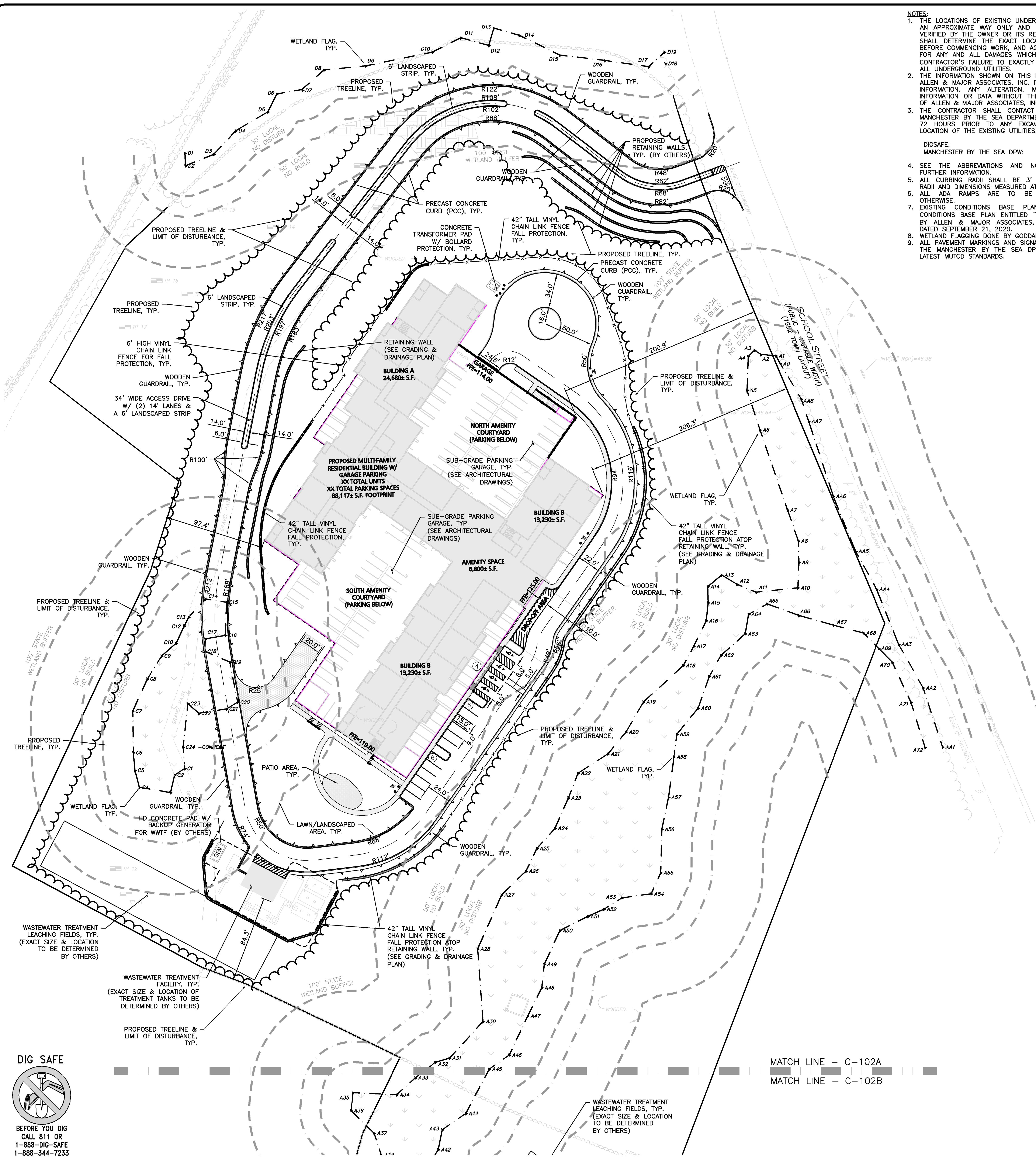
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DRAWING TITLE:	SHEET No.
EXISTING CONDITIONS	V-102



- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF MANCHESTER BY THE SEA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 4. SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 5. ALL CURBING RADI SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADI AND DIMENSIONS MEASURED AT FACE OF CURB.
 6. ALL ADA RAMP ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
 7. EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=50', DATED SEPTEMBER 21, 2020.
 8. WETLAND FLAGGING DONE BY GODDARD CONSULTING.
 9. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE COORDINATED WITH THE MANCHESTER BY THE SEA DPW AND SHALL CONFIRM TO THE LATEST MUTCD STANDARDS.
- DIGSAFE: 1-800-344-7233
MANCHESTER BY THE SEA DPW: (978) 526-1242

LEGEND:

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Symbol]
BUILDING ARCHITECTURE	[Symbol]
CURB	[Symbol]
RETAINING WALL	[Symbol]
PARKING STRIPING	[Symbol]
ROADWAY STRIPING	[Symbol]
TRAFFIC ARROWS	[Symbol]
HEAVY DUTY CONCRETE	[Symbol]
SIDEWALK	[Symbol]
ADA ACCESSIBLE RAMP	[Symbol]
ADA DET. WARNING SURFACE	[Symbol]
SETBACK LINE	---
PARKING COUNT	10
WOOD GUARDRAIL	[Symbol]
CHAIN LINK FENCE	[Symbol]
WOOD FENCE	[Symbol]
TREE LINE	[Symbol]
TRANSFORMER	[Symbol]

PARKING SUMMARY CHART

USE: RESIDENTIAL HOMES

80 ONE-BEDROOMS PROVIDED	(1 BEDROOM = 2 SPACES) =	160 SPACES
61 TWO-BEDROOMS PROVIDED	(2 BEDROOMS = 3 SPACES) =	183 SPACES
16 THREE-BEDROOMS PROVIDED	(3 BEDROOMS = 5 SPACES) =	80 SPACES
00 FOUR-BEDROOMS PROVIDED	(4 BEDROOMS = 6 SPACES) =	00 SPACES
TOTAL SPACES REQUIRED =		423 SPACES

247 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, 231 OF WHICH ARE LOCATED WITHIN THE PODIUM/GARAGE PARKING AREAS AND 16 TOTAL SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.50 SPACES PER 1 DWELLING UNIT.

ADA REQUIRED:
THERE ARE BETWEEN 201 AND 300 TOTAL PARKING SPACES REQUIRING 7 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED:
7 ADA ACCESSIBLE SPACES, 3 OF WHICH SHALL BE VAN ACCESSIBLE.

SURFACE PARKING		STRUCTURED PARKING		TOTAL PARKING	
STANDARD SPACES	ACCESSIBLE SPACES	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
12	4	228	3	247	423

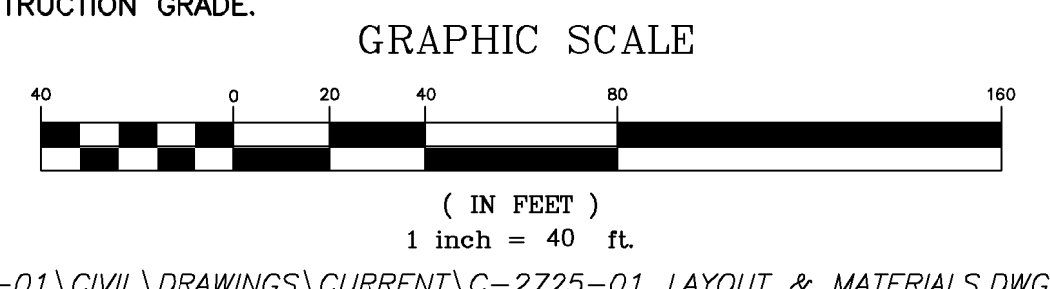
PARKING NOTES:

(1) OFF-STREET PARKING SPACES SHALL BE DESIGNED WITH MINIMUM DIMENSIONS OF 9 FEET BY 18 FEET.

LAND USAGE TABLE - LIMITED COMMERCIAL DISTRICT (LCD) & WATER RESOURCE OVERLAY PROTECTION DISTRICTS - ZONE 3

ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
MINIMUM LOT AREA	(2) 23.72± ACRES	23.72 ACRES	5.00 ACRES
MINIMUM FRONTAGE	(1) 495.2 FEET	495.2 FEET	N/A
MINIMUM LOT WIDTH	291.2 FEET (6)	291.2 FEET	500 FEET
MAXIMUM BUILDING COVERAGE	(3) 0%	7.6%	20%
MAXIMUM PARKING COVERAGE	(3) 0%	0.29%	25%
MINIMUM LANDSCAPED COVERAGE	(3) 100%	87.3%	25%
MAXIMUM IMPERVIOUS COVERAGE	(5) 0%	12.7%	15%
MINIMUM FRONT YARD	(4) N/A	200.9 FEET	150 FEET
MINIMUM SIDE YARD	(4) N/A	97.4 FEET	100 FEET
MINIMUM REAR YARD	(4) N/A	84.3 FEET	100 FEET
MAXIMUM BUILDING HEIGHT	(7) N/A	44.4' (3 STORIES) (8)	35' (2.5 STORIES)
MINIMUM PARKING AREA	N/A	15.5%	5%

- LAND USAGE TABLE NOTES:**
- (1) SECTION 5.3 - SETBACKS: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
- SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
- (2) SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
- (3) SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
- (4) SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
- (5) SECTION 4.9.5.1(a) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
- (6) EXISTING NON-CONFORMING ZONING REQUIREMENT.
- (7) SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
- (8) MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-109 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.



DIG SAFE

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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

ISSUED FOR REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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257 HILLSIDE AVENUE
NEEDHAM, MA 02494

**THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-SEA, MA**

PROJECT NO. 2725-01 DATE: 09-24-2020
SCALE: 1"=40' DWG. NAME: C2725-01
DESIGNED BY: CMQ/SIL CHECKED BY: CMQ

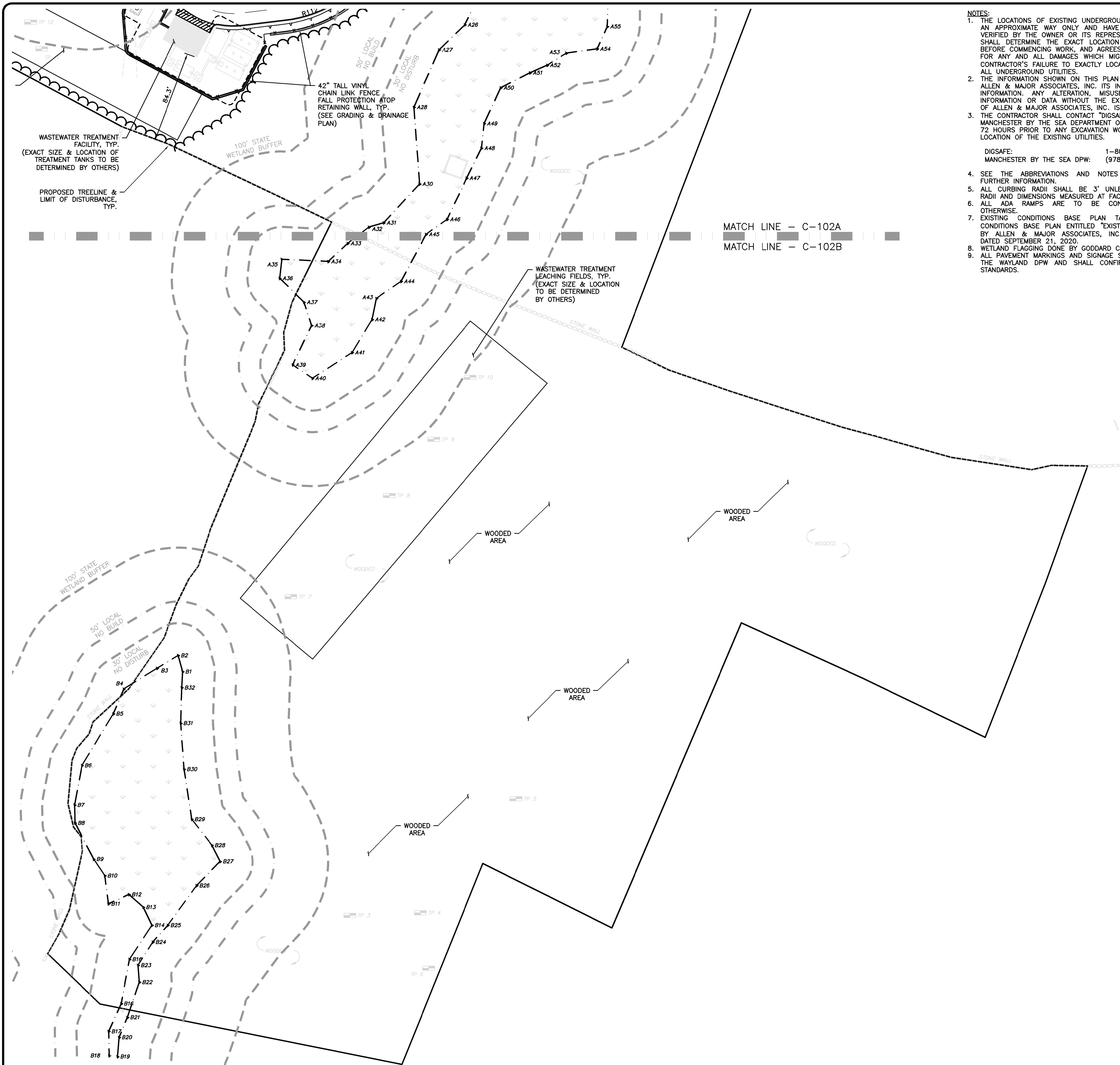
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102A



- NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF MANCHESTER BY THE SEA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
- DIGSAFE: 1-800-344-7233
MANCHESTER BY THE SEA DPW: (978) 526-1242
4. SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 5. ALL CURBING RADI SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADI AND DIMENSIONS MEASURED AT FACE OF CURB.
 6. ALL ADA RAMP ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
 7. EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=50', DATED SEPTEMBER 21, 2020.
 8. WETLAND FLAGGING DONE BY GODDARD CONSULTING.
 9. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE COORDINATED WITH THE WAYLAND DPW AND SHALL CONFIRM TO THE LATEST MUTCD STANDARDS.

LEGEND:

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Symbol]
BUILDING ARCHITECTURE	[Symbol]
CURB	---
RETAINING WALL	[Symbol]
PARKING STRIPING	[Symbol]
ROADWAY STRIPING	[Symbol]
TRAFFIC ARROWS	[Symbol]
HEAVY DUTY CONCRETE	[Symbol]
SIDEWALK	[Symbol]
ADA ACCESSIBLE RAMP	[Symbol]
ADA DET. WARNING SURFACE	[Symbol]
SETBACK LINE	---
PARKING COUNT	10
WOOD GUARDRAIL	[Symbol]
CHAIN LINK FENCE	[Symbol]
WOOD FENCE	[Symbol]
TREE LINE	[Symbol]
TRANSFORMER	T

PARKING SUMMARY CHART

USE: RESIDENTIAL HOMES:

80 ONE-BEDROOMS PROVIDED	(1 BEDROOM = 2 SPACES) =	160 SPACES
61 TWO-BEDROOMS PROVIDED	(2 BEDROOMS = 3 SPACES) =	183 SPACES
16 THREE-BEDROOMS PROVIDED	(3 BEDROOMS = 5 SPACES) =	80 SPACES
00 FOUR-BEDROOMS PROVIDED	(4 BEDROOMS = 6 SPACES) =	00 SPACES
		TOTAL SPACES REQUIRED = 423 SPACES

247 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, 231 OF WHICH ARE LOCATED WITHIN THE PODIUM/GARAGE PARKING AREAS AND 16 TOTAL SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.50 SPACES PER 1 DWELLING UNIT.

ADA REQUIRED:
THERE ARE BETWEEN 201 AND 300 TOTAL PARKING SPACES REQUIRING 7 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED:
7 ADA ACCESSIBLE SPACES, 3 OF WHICH SHALL BE VAN ACCESSIBLE.

SURFACE PARKING		STRUCTURED PARKING		TOTAL PARKING	
STANDARD SPACES	ACCESSIBLE SPACES	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
12	4	228	3	247	423

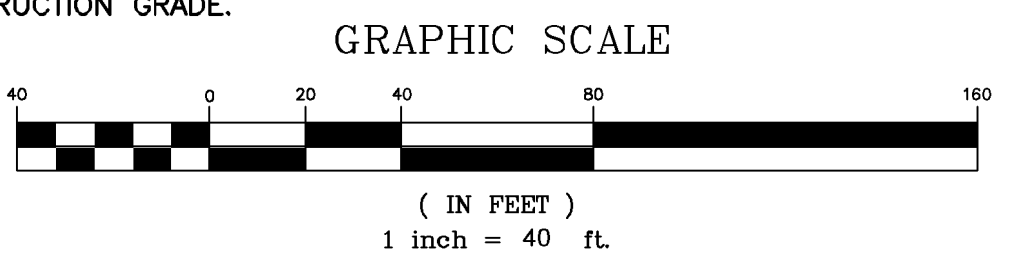
PARKING NOTES:

(1) OFF-STREET PARKING SPACES SHALL BE DESIGNED WITH MINIMUM DIMENSIONS OF 9 FEET BY 18 FEET.

LAND USAGE TABLE - LIMITED COMMERCIAL DISTRICT (LCD) & WATER RESOURCE OVERLAY PROTECTION DISTRICTS - ZONE 3

ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
MINIMUM LOT AREA	(2) 23.72± ACRES	23.72 ACRES	5.00 ACRES
MINIMUM FRONTAGE	(1) 495.2 FEET	495.2 FEET	N/A
MINIMUM LOT WIDTH	291.2 FEET (6)	291.2 FEET	500 FEET
MAXIMUM BUILDING COVERAGE	(3) 0%	7.6%	20%
MAXIMUM PARKING COVERAGE	(3) 0%	0.29%	25%
MINIMUM LANDSCAPED COVERAGE	(3) 100%	87.3%	25%
MAXIMUM IMPERVIOUS COVERAGE	(5) 0%	12.7%	15%
MINIMUM FRONT YARD	(4) N/A	200.9 FEET	150 FEET
MINIMUM SIDE YARD	(4) N/A	97.4 FEET	100 FEET
MINIMUM REAR YARD	(4) N/A	84.3 FEET	100 FEET
MAXIMUM BUILDING HEIGHT	(7) N/A	44.4' (3 STORIES) (8)	35' (2.5 STORIES)
MINIMUM PARKING AREA	N/A	15.5%	5%
INTERIOR LANDSCAPING			

- LAND USAGE TABLE NOTES:**
- (1) SECTION 5.3 - SETBACK: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
- SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
- (2) SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
- (3) SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
- (4) SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
- (5) SECTION 4.9.5.1(p) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
- (6) EXISTING NON-CONFORMING ZONING REQUIREMENT.
- (7) SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
- (8) MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-109 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.



DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

ISSUED FOR REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:
**THE SANCTUARY AT
MANCHESTER BY THE SEA
O SCHOOL STREET
MANCHESTER-BY-TH-SEA, MA**

PROJECT NO. 2725-01 DATE: 09-24-2020
SCALE: 1"=40' DWG. NAME: C2725-01
DESIGNED BY: CMQ/SIL CHECKED BY: CMQ

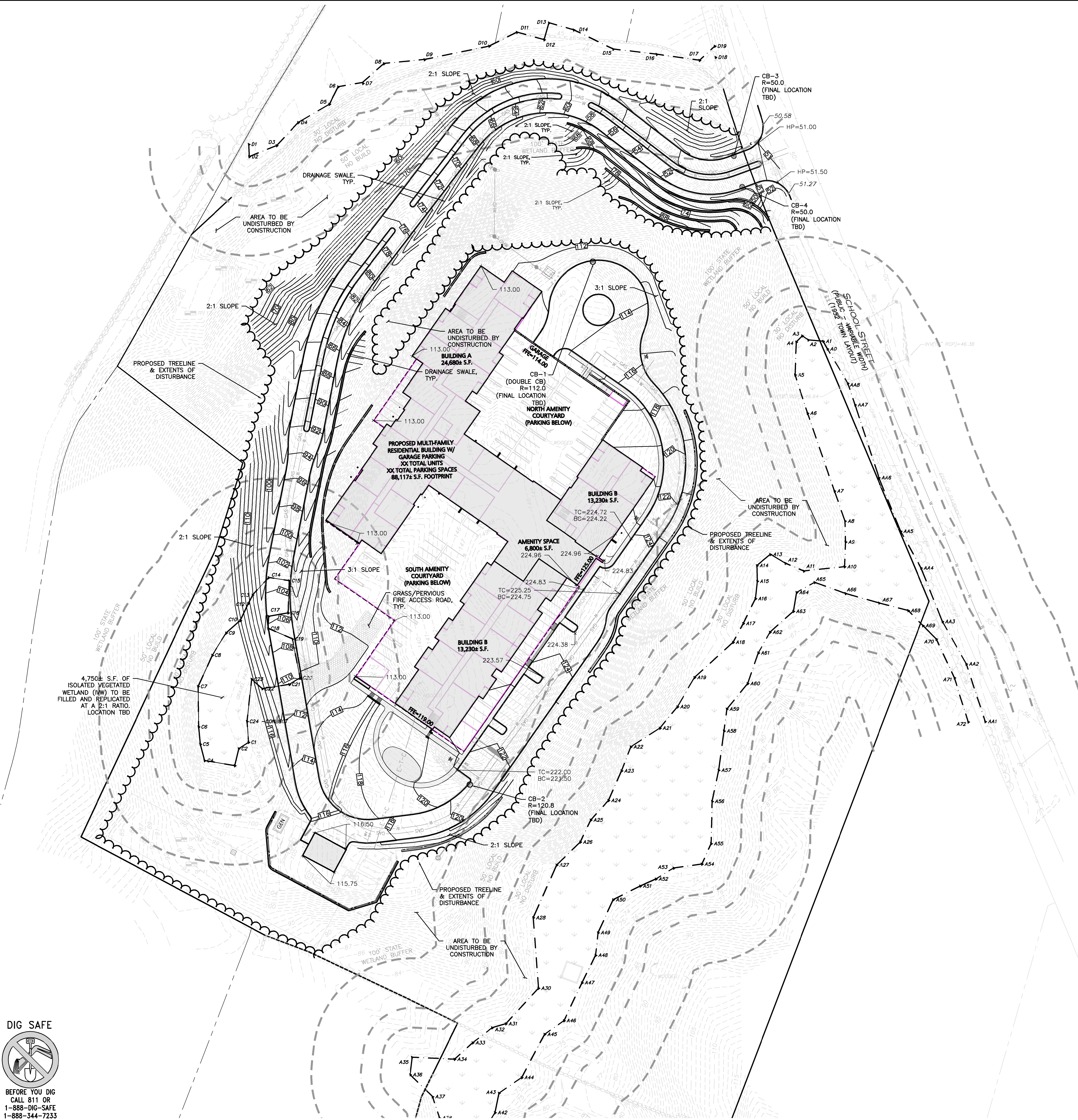
PREPARED BY:

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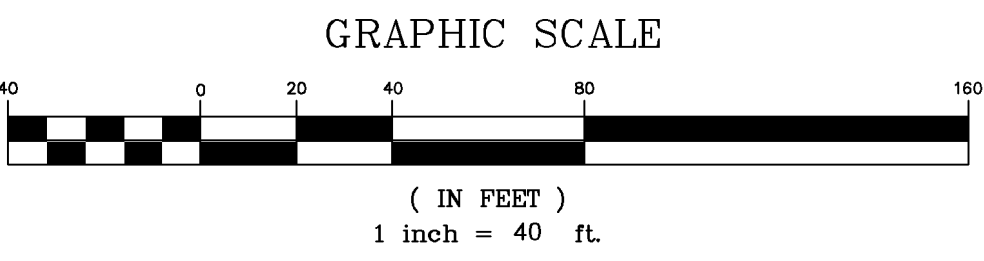
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102B



LEGEND	
DRAIN MANHOLE	○
CATCH BASIN	⊙
CATCH BASIN - DOUBLE GRATE	⊗
DRAIN MANHOLE W/ WEIR	⊖
AREA DRAIN	○
CLEANOUT	•
SPOT GRADE	X 124.25
DRAIN LINE	—
10' CONTOUR	120
2' CONTOUR	124
INFILTRATION SYSTEM	▨
INFILTRATION CHAMBERS	▩
ISOLATOR ROW	▧

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 3. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES. DIGSAFE: 1-888-344-7233
 5. ANY ROOF DRAINAGE PIPE LOCATED WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE CAST IRON PIPE PER MA PLUMBING CODE.
 6. ALL "CDS" STRUCTURES SHALL BE SIZED USING THE WATER QUALITY FLOW RATE PER MASS STORMWATER HANDBOOK.
 7. FINAL DESIGN FOR ALL THE RETAINING WALLS SHALL BE COORDINATED WITH THE APPROPRIATE TOWN STAFF FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



ISSUED FOR
REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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NEEDHAM, MA 02494

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MANCHESTER-BY-THE-SEA, MA

PROJECT NO.	2725-01	DATE:	09-24-2020
SCALE:	1"=40'	DWG. NAME:	C2725-01
DESIGNED BY:	CMQ/SIL	CHECKED BY:	CMQ

PREPARED BY:

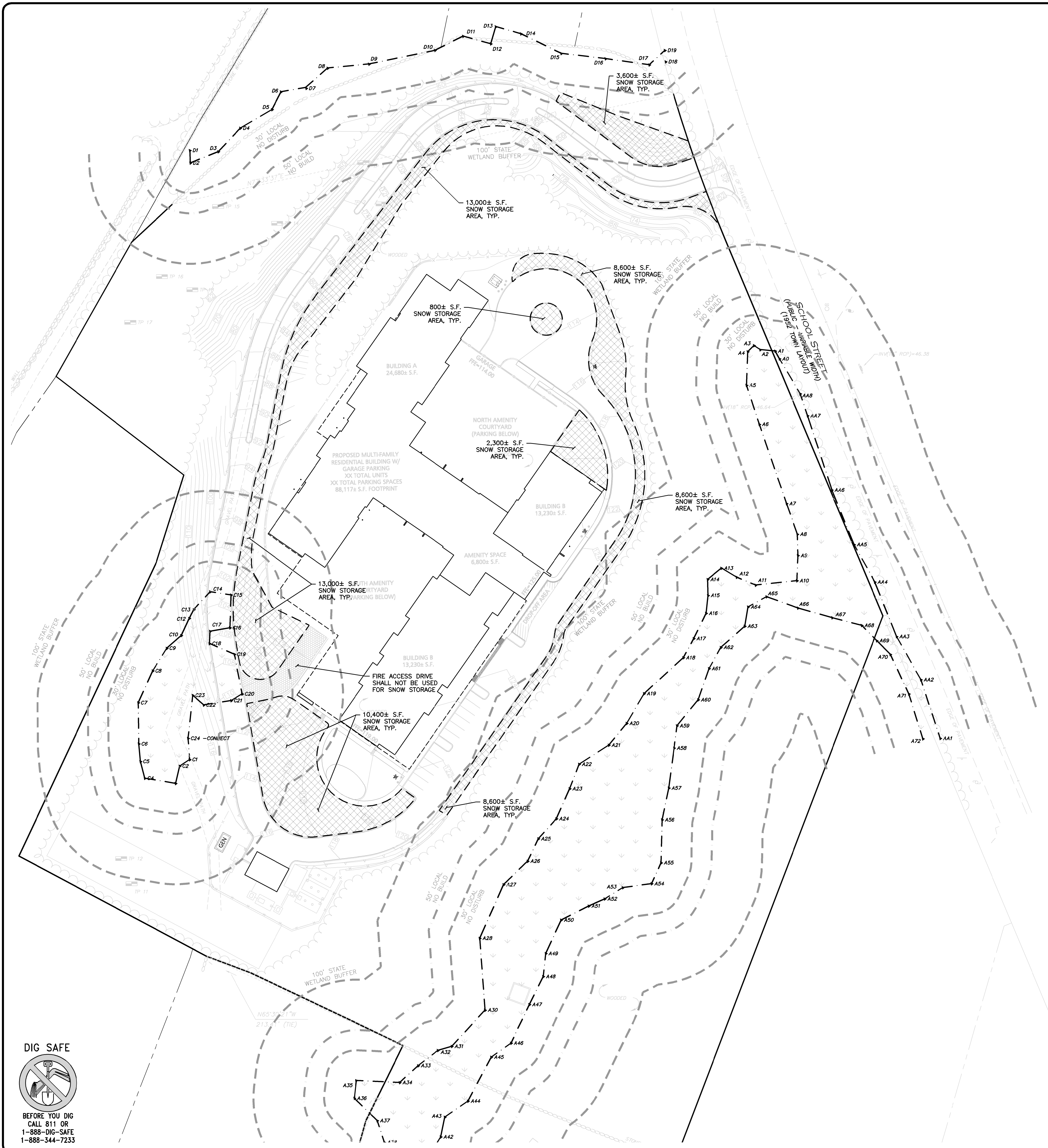
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DRAWING TITLE:	SHEET No.
GRADING & DRAINAGE PLAN	C-103

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LEGEND

SNOW STORAGE AREA

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 3. SNOW WILL BE STOCKPILED ON SITE UNTIL THERE IS NOT ENOUGH SPACE. AS NECESSARY, THE SNOW WILL BE REMOVED AND DISPOSED OF OFF-SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW ACCORDING TO MASSACHUSETTS DEP. BUREAU OF RESOURCE PROTECTION - MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER RESOURCES SNOW DISPOSAL GUIDANCE EFFECTIVE DATE: DECEMBER 23, 2019, GOVERNING THE PROPER DISPOSAL OF SNOW. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO FOLLOW THESE GUIDELINES AND ALL APPLICABLE LAWS AND REGULATIONS.
 4. TOTAL SNOW STORAGE AREA ON SITE: **38,700± S.F.**

ISSUED FOR REVIEW
SEPTEMBER 24, 2020

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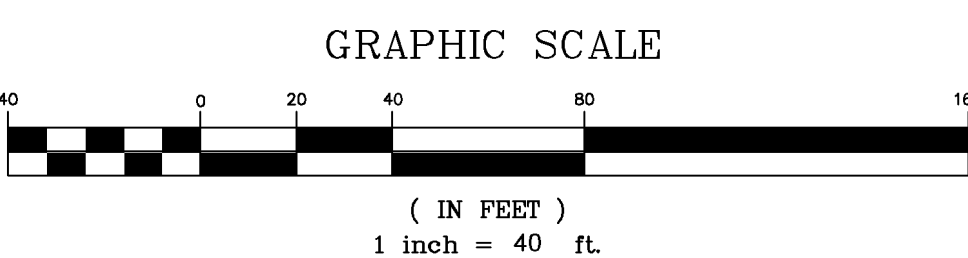
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DRAWING TITLE: **SNOW STORAGE PLAN**
SHEET No. **C-108**



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